

# Appendix 01

## Project Cost Report



 **Tom Laurie** OBE FRICS  
Economic Planner  
Property Consultant

**O'DonnellBrown**



**MILLPORT TOWN HALL  
REPAIRS AND CONVERSION TO  
COMMUNITY FACILITY**

**FEASIBILITY COSTS  
FOR**

**FRIENDS OF MILLPORT TOWN HALL**

**MAY 2019**

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## **1.00 INTRODUCTION**

### **1.01 Background**

Friends of Millport Town Hall (FMTH) have appointed Brown + Wallace to act as cost consultants for the repairs, conservation and conversion of former Millport Town Hall into a multi-use community facility.

### **1.02 The Works**

The proposed works comprise a full strip-out, rot eradication works, external stone repairs, re-roofing and window repairs. Internally the spaces will be reinstated to a high standard including a heritage centre, new toilets, caretaker and self-catering flats, reception area, foyer, upgrading hall and stage and provision of a community hub. All mechanical and electrical installations will be replaced.

The existing building shall be completely closed during the construction works to provide the main contractor with vacant possession of the site.

### **1.03 Remit of the Report**

The remit of this report is to ascertain, based on the information available, the current estimated construction and total development costs for the proposed option.

This report has been provided to assist FMTH in their applications for funding from various sources.

## **2.00 EXECUTIVE SUMMARY**

### **2.01 Summary of Proposal**

The works comprise the renovation and conversion to community facility of Millport Town Hall, which is within Millport conservation area.

### **2.02 Synopsis & Purpose of the Report**

Brown + Wallace have appraised the current design proposals with the purpose of providing the Client with a robust Budget Cost for the Construction Works and overall Development Costs.

This report will assist the Client with the various grant applications that will be necessary to deliver an economically viable and sustainable project.

The Estimated Development Costs are summarised as follows:-

1. Works Cost Estimate, including Contingency	£ 2,324,400
2. Project Team Fees	£ 302,200
3. Other Development Costs	£ 9,600
4. Risk Allowance	included (in 1. above)
5. Client Direct Fit-Out	excluded
6. Tender Inflation (to 4Q 2019)	<u>included</u> (in 1. above)
	£ 2,636,200
VAT on Fees	£ 60,400
VAT on Works	£ <u>232,400</u> (50% standard rated: 50% zero rated)
<b>TOTAL ESTIMATED DEVELOPMENT COST</b>	<b><u>£ 2,929,000 (4Q 2019)</u></b>

For comparative purposes the Total Estimated Development Cost at today's pricing levels (2Q 2019) is £2,868,000. Allowances for Tender price inflation to estimated site start totals £56,800.

A more detailed breakdown of the Estimated Development Cost is contained within Section 3.0 and a further detailed breakdown of the Estimated Works Cost is included within Appendix 1.

### **2.03 Reflection of Current Market Conditions**

Anticipated costs reported are based on current pricing levels, and projected to a potential site start date of December 2019.

It is a requirement of some funding applications that inflationary allowances are separately identified in the overall development costs.

Whilst current market conditions are still uncertain and unpredictable a small increase in output has been recently experienced and is expected to continue, albeit at a somewhat conservative level for the foreseeable future. Building Cost Inflation Service (BCIS) Published indices and recent market prices obtained by Brown + Wallace reflect this view.

It is therefore considered appropriate that if a site start is potentially December 2019, that an inflationary allowance of 2.13% be included in the summary of capital costs.

## **2.04 Application of VAT**

Following changes in the Budget 2012, the zero rating of VAT on approved alterations to protected buildings was withdrawn. Consequently, with the exception of one distinct area, VAT will be applied at the full rate of 20%. The one area for VAT relief is:-

- A zero rate for some construction work to suit people with disabilities may be available.

In the event that the Trust validate their charitable status, and that of the buildings use for charitable purposes, the Trust may be able to reclaim VAT, provided they are VAT registered. This may apply to elements relating to conversion to accommodation.

For the purposes of this report a split of 50/50 between standard and zero rated works has been applied.

The application of VAT on construction is a complex area and specialist accountancy advice should be sought by the Trust to ensure that the correct rates are applied.

VAT on Consultants fees and surveys etc. are always subject to VAT at the full rate.

## **2.05 Conclusion**

Brown + Wallace are satisfied that this Feasibility Cost Report represents a robust and accurate assessment of the likely cost of the project, reflecting the current status of design development and prevailing market conditions.

Signed:  \_\_\_\_\_ (Craig Macdonald MRICS)

for

Brown + Wallace  
22 James Morrison Street  
Glasgow, G1 5PE

Date: 2 May 2019

**3.00 DEVELOPMENT COST SUMMARY**

1 ESTIMATED WORKS COST

1	Substructure		£	31,100
2	Superstructure		£	837,200
3	Internal Finishes		£	391,500
4	Fittings and Furnishings		£	85,400
5	Mechanical and Electrical Services		£	577,300
				1,922,500
6	External Works		£	37,800
				1,960,300
7	Preliminaries	10.6%	£	207,400
8	Main contractors profit and overheads (Incl. above)			0
				2,167,700
9	Contingencies	5.0%	£	108,100
				2,275,800
10	Inflation to site start (2Q 2019 to 4Q 2019)		£	48,600
				2,324,400

2 VAT ON WORKS 20.00% £ 232,400  
(allowance for 50% VAT applicable to works; specialist advice should be sought)

3 PROFESSIONAL FEES 13.00% £ 302,200

4 VAT ON FEES 20.00% £ 60,400

TOTAL COST £ 2,919,400

5 OTHER DEVELOPEMENT COSTS

1	Planning		£	600
2	Advertising		£	200
3	Warrant		£	8,200
4	Surveys (bats)		£	600
			£	9,600

6 RISK ALLOWANCE ESTIMATE

1	Design development risk	0.00%	£	0
2	Construction / site conditions risk	0.00%	£	0
3	Employer change risk	0.00%	£	0
			£	0

7 CLIENT DIRECT FIT-OUT

1	Heritage centre equipment	£	excluded
2	Conservation corner equipment	£	excluded
3	Loose furniture and fittings	£	excluded
4	Artworks	£	excluded
5	Office equipment	£	excluded
6	Community Hub tables, chairs, seating	£	excluded
7	Self Catering flats white goods and furniture	£	excluded
		£	excluded

**TOTAL ESTIMATED DEVELOPMENT COST (2Q 2020) £ 2,929,000**

**Notes**

In compiling this budget cost we have made the following assumptions :-

- 1 Works competitively tendered with a main contractor and executed as a single contract
- 2 Existing mains services do not require upgrading or alteration

Development cost is exclusive of the following:-

- a Legal Fees
- b Finance charges
- c Client direct FF&E
- d VAT on works cost
- e Contingencies and Risk allowances

## **4.00 COST COMMENTARY**

### **4.01 Constraints & Limitations**

- a) The costs have initially been appraised upon current pricing levels (2Q 2019) with inflationary allowances projected to December 2019 (4Q2019).
- b) It is envisaged that the project will be procured on a competitive tender basis with suitably experienced contractors via a Public Contracts Scotland Tender Notice.
- c) Preliminaries are based upon the works being procured in one single phase and exclude any costs that may be attributable to any subsequent phasing of the works.
- d) Preliminaries are based on a typical contract period with normal working hours and no allowance for any acceleration oncosts.

### **4.02 Drawings & Other Information**

Costs are based upon the following information provided by others:-

- a) Architects Information
  - 00-100 Location Plan
  - 00-200 Existing Lower Ground Floor Plan
  - 00-201 Existing Ground Floor Plan
  - 00-202 Existing First Floor Plan
  - 00-203 Existing Roof Plan  
Cross Section 01
  - 00-250 Proposed Lower Ground Floor Plan
  - 00-251 Proposed Ground Floor Plan
  - 00-252 First Floor Plan Option 1 (Mezzanine Flats Level 01)
  - 00-253 First Floor Plan Option 1 (Mezzanine Flats Level 02)
- b) Engineers Information
  - Desktop Study not available at time of report

- c) Mechanical & Electrical Information
  - No information available at time of report
- d) Fire Strategy
  - No information available at time of report
- e) Topographical Study
  - No information available at time of report
- f) Site Investigation
  - No information available at time of report
- g) Specification
  - As interpreted from Architect's drawings
- h) Specialist Operations
  - No specialist works envisaged at this stage, other than rotworks and basement tanking
- i) Building Inspection Report
  - Prepared by Allied Surveyors Scotland dated February 2019

### **4.03 Statutory Approvals**

- a) Planning Consent – no formal application to date
- b) Building Warrant – to current standards.
- c) Roads Construction Consent / Section 56 – no formal application to date.
- d) Scottish Water approvals – no formal application to date.

This report makes no allowance for any onerous conditions that may arise from the above.



**4.04 Exclusions from Construction Cost Estimate**

- a) revenue costs including manager, caretaker, cleaners, construction project manager and clerk of works
- b) third party warranties and way-leaves
- c) finance charges
- d) VAT – see 4.11

**4.05 Assumptions made in the Preparation of this Cost**

- a) no requirement for a contract guarantee bond
- b) reasonable access / egress to and from the site for the appropriate plant and machinery
- c) all principle excavations above ground water level
- d) no requirement for a new electrical sub-station
- e) suitable space for a plant room
- f) all excavated material suitable for disposal off site as 'inert' waste
- g) no requirement for ground gas preclusion measures

**4.06 No Allowance Included for the Following**

- a) diversion of existing services unless otherwise stated
- b) works outwith the site boundary (other than drainage connections)
- c) mineral instability or ground decontamination treatments
- d) abnormal foundations, unless otherwise stated
- e) archaeological watching brief

**4.07 Significant Provisional Sums**

Not applicable due to feasibility status.

**4.08 Prime Cost Sum Allowances**

Allowance for meter installation and connection charges for the undernoted utility services have been included:-

- a) Scottish Power
- b) Scottish Water
- c) British Telecom

It is envisaged that adequate capacity is available for water and electricity supplies.

#### **4.09 Risk Allowance**

In accordance with cost planning principles, the following separate risk allowances would normally be appropriate:-

- (i) Risks associated with design development changes, e.g. statutory requirements (2.0%).
- (ii) Risks associated with site conditions, e.g. access restrictions / limitations, adjacent buildings, existing sewers (1.0%).
- (iii) Risks during design and construction associated with Employer driven changes e.g. scope of works, changes in quality and/or timing of the works (1.50%).

Allowances for (i) and (ii) are incorporated within overall works cost contingency allowance (5%). The Client considered an allowance for (iii) to be unnecessary for a charity.

#### **4.10 Inflation**

Anticipated costs reported are based on current pricing levels (2Q 2019) with future tender price inflation allowance to December 2019 (4Q2019).

Whilst current market conditions are still uncertain and unpredictable, a steady increase in output has been recently experienced and is expected to continue for the foreseeable future. Published BCIS indices and recent market prices obtained by Brown + Wallace reflect this view.

It is therefore considered appropriate that recognition be given in any future cost estimates to reflect these increases.

Tender price indices indicate inflationary increases as follows:

2Q 2019 to 4Q 2019 +2.13%

#### **4.11 Application of VAT**

VAT is excluded from this report.

The application of VAT on construction is a complex area and specialist accountancy advice should be sought by the Client to ensure that the correct rates are applied.

VAT at current rate of 20% may be applicable to some elements of repairs, extension, professional fees, development costs and risk allowances.

## APPENDICES

# 1 Elemental Works Cost Summary

APPENDIX 1 - ELEMENTAL WORKS COST SUMMARY

30 April 2019

		Total Cost of Element	Cost per m2 GFA	Element %
<b>1</b>	<b>SUBSTRUCTURE</b>			
1A	Ground floor	31,100	29.28	1%
1	Element Total	<b>31,100</b>	<b>29.28</b>	<b>1%</b>
<b>2</b>	<b>SUPERSTRUCTURE</b>			
2A1	Downtakings & builderswork	146,100	137.57	6%
2A2	Rot Eradication & damp-proofing	111,300	104.80	5%
2B	Upper floors	58,100	54.71	3%
2C	Roofs	113,500	106.87	5%
2D	Stairs	25,200	23.73	1%
2E	External walls	152,300	143.41	7%
2F.1	Windows and screens	106,700	100.47	5%
2F.2	External doors	7,700	7.25	0%
2G	Internal walls & partitions	58,000	54.61	3%
2H	Internal doors	58,300	54.90	3%
2	Element Total	<b>837,200</b>	<b>788.32</b>	<b>37%</b>
<b>3</b>	<b>INTERNAL FINISHES</b>			
3A	Wall finishes	122,500	115.35	5%
3B	Floor finishes	74,500	70.15	3%
3C	Ceiling finishes	125,700	118.36	6%
3D	Decoration	68,800	64.78	3%
3	Element Total	<b>391,500</b>	<b>368.64</b>	<b>17%</b>
<b>4</b>	<b>FITTINGS AND FURNISHINGS</b>			
4A	Fitted furniture & equipment (F, F & E)	85,400	80.41	4%
3	Element Total	<b>85,400</b>	<b>80.41</b>	<b>4%</b>
<b>5</b>	<b>SERVICES</b>			
5A	Sanitary appliances	32,900	30.98	1%
5B	Service equipment (kitchen appliances)	5,400	5.08	0%
5C	Disposal installation	20,300	19.11	1%
5D	Water installation	28,900	27.21	1%
5E-F	Heating installation	94,000	88.51	4%
5G	Ventilation system	49,900	46.99	2%
5H	Electrical installation	174,300	164.12	8%
5I	Gas installation	-	-	0%
5J	Lift installation	47,300	44.54	2%
5K	Protective installation	62,900	59.23	3%
5L	Communication installation	21,300	20.06	1%
5M	Special installation	26,300	24.76	1%
5N	Builderswork in connection with services	13,800	12.99	1%
5	Element Total	<b>577,300</b>	<b>543.60</b>	<b>25%</b>
	<b>Building cost - carried forward</b>	<b>1,922,500</b>	<b>1,810.26</b>	<b>84%</b>

APPENDIX 1 - ELEMENTAL WORKS COST SUMMARY

30 April 2019

		Total Cost of Element	Cost per m2 GFA	Element %
	<b>Building cost - brought forward</b>	<b>1,922,500</b>	<b>1,810.26</b>	<b>84%</b>
<b>6</b>	<b>EXTERNAL WORKS</b>			
6A	Site works	13,000	12.24	1%
6B	External drainage	5,400	5.08	0%
6C	External services	19,400	18.27	1%
6D	Minor building works	-	-	0%
6	Element Total	<b>37,800</b>	<b>35.59</b>	<b>2%</b>
	<b>Works cost - sub-total</b>	<b>1,960,300</b>	<b>1,845.86</b>	<b>86%</b>
<b>7</b>	<b>PRELIMINARIES</b>			
				10.6%
7	Element Total	<b>207,400</b>	<b>195.29</b>	<b>9%</b>
<b>8</b>	<b>MC Profit &amp; Overhead (incl. in rates)</b>			
				0.0%
8	Element Total	-	-	<b>0%</b>
<b>9</b>	<b>Contingencies</b>			
				5.0%
9	Element Total	<b>108,100</b>	<b>101.79</b>	<b>5%</b>
	<b>ANTICIPATED CONSTRUCTION COST (2Q 2019)</b>	<b>2,275,800</b>	<b>2,142.94</b>	<b>100%</b>

SUMMARY OF AREAS

GFA Summary		
Lower Ground Floor	441 m2	42%
Ground Floor	406 m2	38%
First Floor	195 m2	18%
Mezzanine	20 m2	2%
<b>Total M2 GFA</b>	<b>1,062 m2</b>	<b>100%</b>

NOTES

Above estimated construction cost includes the following significant allowances/assumptions:-

- Asbestos removal allowance - £ excluded
- Rot treatments - £50,000 (Wise Property Care report)
- Damp-proofing - £66,000 (Wise Property Care report)
- Replace roof slating and leadwork allow 50%
- Existing floors repaired; no allowance for acoustic upgrading
- Stone repairs allowance - £60,000
- Replacement windows - £60,000 (60%)
- Reuse and upgrade existing doors (30%)
- Catering kitchen - £20,000
- Bespoke bar and fittings - £10,000
- Reception desk - £1,500
- Stackable chairs - £5,000
- Lift to accommodate wheelchairs - £45,000
- Lighting and sound equipment excluded
- Monitored CCTV security cameras in lieu of site watchman

# Appendix 02

## Consultees



**O'DonnellBrown**



**Tom Laurie** OBE FRICS  
Economic Planner  
Property Consultant



## List of Consultees

**The following individuals and parties were consulted by Tom Laurie as part of the feasibility exercise:**

- Jackie Wilson Local drama group
- Margaret Kennedy Tourism association
- Jean Kerr Garrison library group
- Janette Donnelly Sanctuary Millport Care Home
- Mazda Munn Art group
- Gill Miller Art group
- Kasia Smith North Ayrshire Council
- Eleanor McAllister Heritage Lottery
- Ranald McInnis Environment Scotland
- Cumbrae Beecology
- Creative Scotland
- David McGilp Visit Scotland
- Peter Broughan Film producer
- Angela Giorgetti Festival organiser
- Jan Summers Dance group
- Alister Chisholm Cathedral of the Isles
- Rhona Gourley Sonoro Choir
- Margaret Allen Dance group
- Marie Wallace History project
- Graham Wallace - Cumbrae Community Council
- Angie McCallum - Cumbrae Community Council
- Rena McIntyre - Cumbrae Garden Club and CCDC
- Edwin Deas Author
- The Boys Brigade
- Bronwyn Deas Marketing Consultant
- James Farrell Elderly Forum
- Local businesses
- Overseas holiday home owners
- IT
- CPDs
- Website (projects, about us) / media presence / Marketing
- Instagram post(s)





**Tom Laurie** OBE FRICS  
Economic Planner  
Property Consultant



**Friends of Millport Town Hall also have messages of support from:**

- Cumbrae Community Council
- Isle of Cumbrae Tourist Association
- Cumbrae Community Development Company
- Millport Pipe Band
- Millport Golf Club
- Millport Burns Society
- Cumbrae Contemporary Poetry Society
- Sonoro Choir
- The Cathedral of the Isles
- Scottish Dance Group
- Cumbrae Historical Society
- Millport WI
- International Writers Group
- Returning Worldwide Visitors
- Scottish Dance Federation
- Local Businesses

# Appendix 03

## Business Plan



**O'DonnellBrown**

**Millport Town Hall  
Projected Income**

	Notes	Year 1		Year 2		Year 3		Year 4		Year 5	
		£	£	£	£	£	£	£	£	£	£
<b>Heritage Centre</b>											
Donations		1,500		1,527		1,554		1,582		1,611	
Entrance Fees	1	18,000		18,000		18,000		18,000		18,000	
			19,500		19,527		19,554		19,582		19,611
<b>Hall</b>											
Hall Hire	2	15,168		15,168		15,168		15,168		15,168	
Private Functions	3	1,276		1,299		1,322		1,346		1,370	
Hogmanay Function	4	3,500		3,563		3,627		3,692		3,759	
Film Club	5	3,200		3,258		3,316		3,376		3,437	
Wedding Hire	6	6,000		6,108		6,218		6,330		6,444	
Seminars	7	1,000		1,018		1,036		1,055		1,074	
Millport Fundraisers	8	15,000		15,000		15,000		15,000		15,000	
			45,144		45,414		45,688		45,967		46,252
<b>Cumbrae Lottery</b>			3,600		3,665		3,731		3,798		3,866
<b>Therapeutic Millport</b>			5,000		5,090		5,182		5,275		5,370
<b>Creative Millport</b>											
Amateur Productions	9	2,350		2,392		2,435		2,479		2,524	
Professional Productions	10	10,000		10,180		10,363		10,550		10,740	
Art and Photographic Exhibitions	11	1,000		1,018		1,036		1,055		1,074	
			13,350		13,590		13,835		14,084		14,337
<b>Accommodation</b>											
Caretaker Residence	12	4,200		4,276		4,353		4,431		4,511	
Rental Flats	13	41,600		42,349		43,111		43,887		44,677	
			45,800		46,624		47,464		48,318		49,188
			<u>132,394</u>		<u>133,910</u>		<u>135,453</u>		<u>137,025</u>		<u>138,624</u>

**Assumptions**

All figures based on information provided by Tom Laurie and no further verification work undertaken  
Inflationary increases assumed at 1.8% across all income sources excluding entrance fees, Donations, Fundraisers and Hall Hire based on February 2019 Consumer Price Index

**Notes**

- 1 Based on 6,000 visitors pa average £3 entry
- 2 Detailed breakdown available, based on discussions with interested community groups and current usage/rates
- 3 Assuming one function per month and additional Burns Night/St Andrews night functions
- 4 Based on 150 tickets at £15 per ticket and additional bar income
- 5 Based on 8 showings for 80 people at £5 per person
- 6 Assuming 6 weddings per year at £1,000 per wedding
- 7 Based on 2 seminars at £500 each
- 8 Based on 6 fundraising events at £2,500 each
- 9 Based on 9 productions at £150 per production and bar takings at 5 productions £200/production
- 10 Based on 12 productions at £500 each and bar takings at 10 productions £400/production
- 11 Based on 4 exhibitions per year £250 per exhibition
- 12 Based on rental income of £350/month
- 13 Three rental flats 50% occupancy, £500/week for 2 and £600/week for the largest

**Millport Town Hall**  
**Projected Expenditure**

Notes	Year 1		Year 2		Year 3		Year 4		Year 5	
	£	£	£	£	£	£	£	£	£	£
<b>Staff</b>										
Duty Manager	1	40,000		40,720		41,453		42,199		42,959
Caretaker		20,000		20,360		20,726		21,100		21,479
		60,000		61,080		62,179		63,299		64,438
Energy		24,000		24,432		24,872		25,319		25,775
Marketing Costs		5,000		5,090		5,182		5,275		5,370
Accountancy		1,700		1,731		1,762		1,793		1,826
Film Royalties		720		733		746		760		773
Laundry Costs		1,000		1,018		1,036		1,055		1,074
Sinking Fund Contribution		10,000		10,180		10,363		10,550		10,740
Insurance		3,600		3,665		3,731		3,798		3,866
Bar Licences		160		163		166		169		172
<b>Maintenance</b>										
Emergency Lighting		2,400		2,443		2,487		2,532		2,578
Fire Inspection/Safety		1,500		1,527		1,554		1,582		1,611
Security System		300		305		311		316		322
Heating		300		305		311		316		322
Lift Service		300		305		311		316		322
Window Cleaning		600		611		622		633		644
Refuse Collection		1,200		1,222		1,244		1,266		1,289
		6,600		6,719		6,840		6,963		7,088
<b>Office Costs</b>										
Phone/Broadband		1,140		1,161		1,181		1,203		1,224
Web Hosting		60		61		62		63		64
Sage Software		300		305		311		316		322
Office Consumables		1,400		1,425		1,451		1,477		1,504
		2,900		2,952		3,005		3,059		3,115
		<u>115,680</u>		<u>117,762</u>		<u>119,882</u>		<u>122,040</u>		<u>124,237</u>

**Assumptions**

All figures based on information provided by Tom Laurie and no further verification work undertaken

Assumed that expenses provided are inclusive of VAT

If expenses are provided net of VAT, approximately £8,000 of VAT will be incurred based on the expenditure noted

This VAT is unlikely to be reclaimable, however detailed VAT advice will require to be obtained

Inflationary increase of 1.8% assumed across all expenditure in line with CPI February 2019 figures (same would also require to be added to the potential additional VAT as noted above)

**Notes**

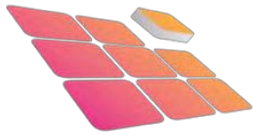
1 To include all employers national insurance and pension contributions

# Appendix 04

## Energy Report

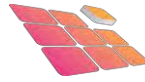


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[info@oxusventures.com](mailto:info@oxusventures.com)  
[www.oxusventures.com](http://www.oxusventures.com)

**Mr. Tom Laurie OBE FRICS**  
**Laurie Consultancy**

3<sup>rd</sup> May 2019

Dear Tom,

**Millport Town Hall**

Having studied the plans for Millport Town Hall we have an opportunity to integrate a number of energy-generation and energy-saving measures in this location in order to convert the Millport Town Hall into something akin to a **Smart Building**.

Equipped with photovoltaic panels, solar thermal panels, hybrid panels, heat pumps and various thermal as well as electrical storage facilities, smart materials, building technology and IT, the Town Hall will not only use energy, it will also produce and store it.

Complex ICT systems (Building Energy Management Systems (“BEMS”)) will facilitate the optimum, automated management of energy distribution, consumption, storage and transmission. Furthermore, the Town Hall could also participate in the electricity market by selling surplus electricity for a profit.

**Basic Operation and Functions**

<b>Basic Modules</b> (available immediately)	<b>Advanced Modules</b> (available immediately)	<b>Future Modules</b> (design input required)
<ul style="list-style-type: none"> <li>• Photovoltaics (PV)</li> <li>• Solar thermal</li> <li>• Hybrid (PV Thermal)</li> <li>• Hot Water production</li> <li>• Smart User App</li> <li>• Smart Meters</li> <li>• B.E.M.S.</li> <li>• Battery storage</li> </ul>	<ul style="list-style-type: none"> <li>• Smart Ventilation</li> <li>• Underfloor Heating</li> <li>• Fresh Water modules</li> </ul>	<ul style="list-style-type: none"> <li>• High-temp water storage tank</li> <li>• Air heat pump</li> <li>• Thermal underground storage</li> <li>• Brine Heat pumps</li> <li>• Groundwater heat pumps</li> </ul>

**Energy production**

- **Solar Thermal panels**
- **PV/photovoltaic** (electricity-producing) panels and
- **Hybrid systems** (mix of photovoltaic and solar thermal systems)

as well as heat pumps (see **future installation**).

Photovoltaics  
(15 kW<sub>pef</sub>)

Solar thermal power  
(90 kW<sub>pth</sub>)

Hybrid  
(20 kW<sub>pef</sub> + 60 kW<sub>pth</sub>)

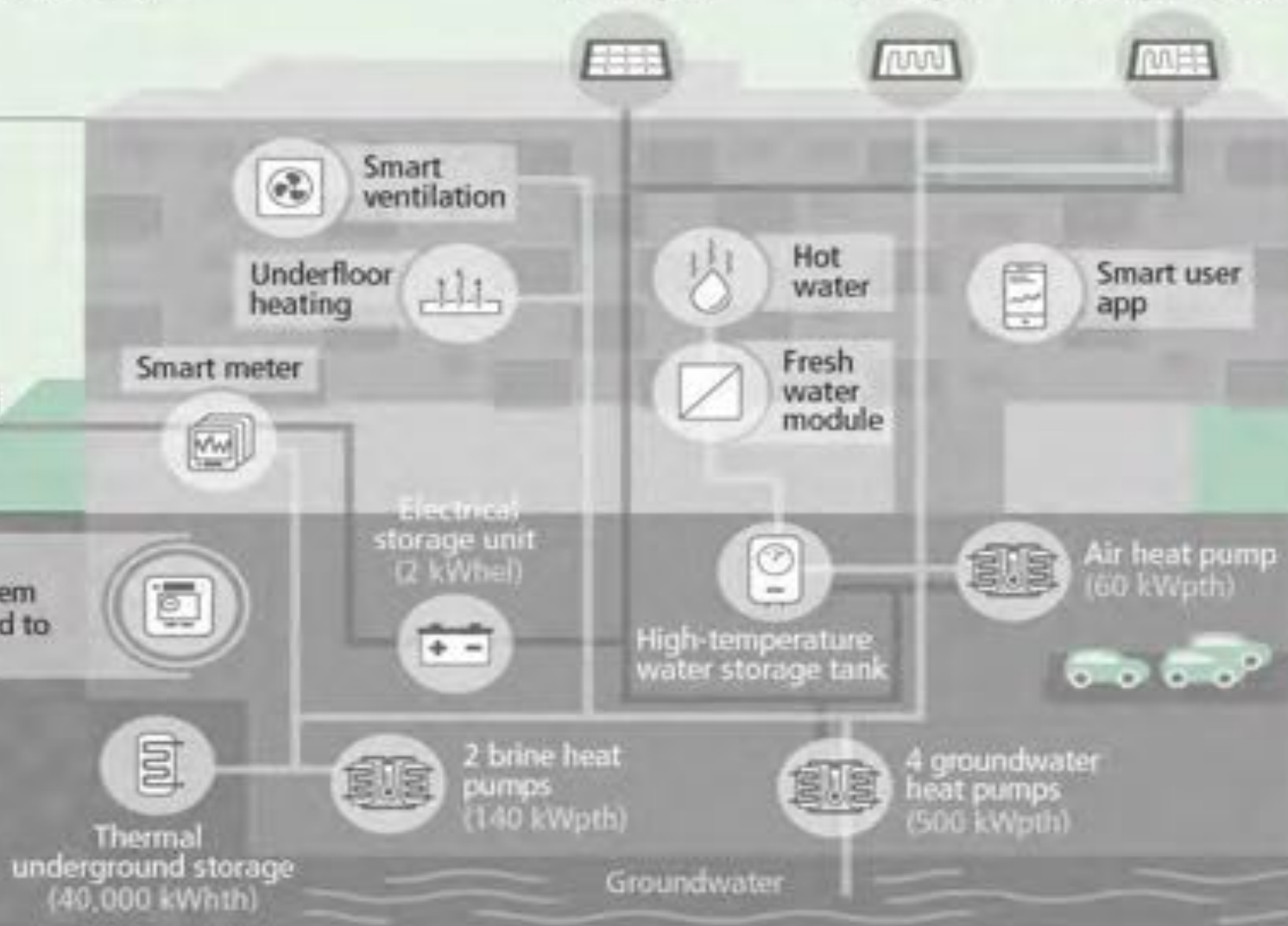
ROOF

ROOMS

CELLAR

Electricity grid

Building Energy Management System (BEMS – connected to all components)



## Energy Storage

Energy produced from the mix of PV and Thermal systems is used as and when required or stored:

- In **batteries** (electricity)
- In **heat storage tanks** (thermal energy)

## Energy Availability to the Building & Seamless power integration

Solar power (either direct or via storage) is available at **all times** in case of a power cut to protect:

- a. critical IT/computers systems (e.g. Building Energy Management System)
- b. alarm power to restricted areas of the building
- c. generally to provide power for communications and other key systems until grid power is re-established.

Electrical power can be delivered seamlessly from the switchboard apparatus attached to the solar array and from the Battery storage facility, into the building's backbone high voltage network.

**Note:** Thermal power is more involved and requires deeper integration with the existing plumbing network in the building.

## Use of Smart App Devices

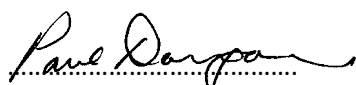
The building will have at least one device (and likely more) which is integrated with the Smart Meter (see below). This is a handheld display, similar to a mobile phone or TV remote control, with a screen display that shows important information that assists the Building Manager to make better energy-saving and efficiency decisions.

## Smart Meters

The Smart Meter will monitor and control all of the Town Hall's functions such as how much electrical and heat energy is being used as well as the monitoring of other energy consumption such as gas units, where this is installed. All the Smart Meters in the building integrate with the **Building Energy Management System (BEMS)**. The BEMS monitors and controls electricity usage, heating, ventilation and air-conditioning, ensuring that the building operates at MAX efficiency and SAVING wasted energy usage and associated costs.

I trust that the above information is of some value to yourself and your clients. We are of course happy to contribute further to your vision for this landmark building in a unique and important location and remain at your services

Yours Sincerely,



Dr Paul T. Dougan

Director, for and on behalf of I AM SOLAR® International Ltd



# Appendix 05

## Surveys:

- Condition survey
- Structural survey
- Electrical survey
- Timber survey



**O'DonnellBrown**



**BUILDING INSPECTION REPORT**

**OF**

**MILLPORT TOWN HALL**  
**5 CLIFTON STREET**  
**MILLPORT**  
**ISLE OF CUMBRAE**  
**KA28 0AZ**

**ON BEHALF OF**

**FRIENDS OF MILLPORT TOWN HALL**

**Prepared by**

**Allied Surveyors Scotland  
Building Consultancy  
Herbert House  
Glasgow  
G20 6NB**

**February 2019**

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**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
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- Urgent - Where work has to be carried out forthwith to render the building safe and weathertight to preserve its integrity or must be carried out in early course, certainly within a twelve month period.
- Essential - Where the work is of such a nature that it must be carried out for the well being of the building and should be done within five years or earlier if possible.
- Desirable - Where the work would be beneficial but can be delayed.

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**BUILDING INSPECTION REPORT  
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**1.00 INTRODUCTION**

- 1.01 CLIENT - Friends of Millport Town Hall
- 1.02 PROPERTY INSPECTED - Millport Town Hall  
5 Clifton Street  
Millport  
Isle of Cumbrae  
KA28 0AZ
- 1.03 DATE OF INSPECTION - We inspected the property on 31<sup>st</sup> January 2019 during sunny but freezing weather conditions.
- 1.04 INSTRUCTED BY - Angie McCallum, Chair – Friends of Millport Town Hall
- 1.05 SURVEYED BY - Scott Graham BSc (Hons) MRICS &  
Alan Hutchison BSc FRICS  
Allied Surveyors Scotland  
Building Consultancy  
Herbert House,  
30 Herbert Street  
Glasgow, G20 6NB
- 1.06 PHOTOGRAPHS - Contained within Appendix A
- 1.07 FLOOR PLANS - Contained within Appendix B
- 1.08 STRUCTURAL REPORT - Contained within Appendix C  
  
Allister Campbell  
(B.Eng.(Hons) MSc. C.Eng. M.I.Struct.E)  
ATK Partnership  
33 Union Street  
Greenock  
PA16 8DN
- 1.09 ELECTRICAL REPORT - Contained within Appendix D
- 1.10 TIMBER REPORT - Contained within Appendix E

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**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
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- 1.11 GENERAL DESCRIPTION - Millport Town Hall was originally constructed in 1878 and is located in the centre of Millport. The original town hall building has been extended over its history and consists of various sized halls, a kitchen, toilets and basement storage.
- Roofs are generally timber pitched structures with slate finishes. External walls to the original build are stonework, with the more recently constructed areas brickwork with a roughcast finish. Rainwater goods are generally metal with isolated areas having PVCu gutters and downpipes. Windows are mainly timber sash and case or PVC type double glazing. Doors are timber panelled with flush timber fire escape doors around the property.
- Internally, the majority of rooms have lath and plaster ceilings, plaster or plasterboard walls and either carpet, vinyl or tiled floor finishes.
- 1.12 LISTING - Millport Town Hall is not currently listed, however it is located within the Millport conservation area.

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**BUILDING INSPECTION REPORT  
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**2.00 SCOPE**

- 2.01 This report provides a general guide as to the state of repair. No exposure work whatsoever has been carried out and the foundations have not been inspected.
- 2.02 Where directions of the compass are given these should be read as if the front entrance of the Town Hall faces northeast.
- 2.03 The majority of the roof voids were not accessible at the time of our inspection, and only an area next to the Female Toilets had access, although restricted.
- 2.04 It was not possible to gain direct access onto the roof coverings and therefore all information was obtained by a visual inspection from ground level or cherry picker.
- 2.05 Plasterwork has not been inspected and no underfloor inspections have been made except where stated.
- 2.06 Flues were not inspected nor electrical, gas, water, or drainage tests carried out.
- 2.07 We have not inspected woodwork or other parts of the structure which were covered, unexposed or inaccessible and are therefore unable to report that any such part of the property is free from defect.
- 2.08 Where costs have been indicated, these are purely indicative and are in no way based on contractor's estimates or quotations. We have to state that the indicated costs should be used with caution as, for example, further exposure work by a contractor may reveal that much more work is required. All costs are also exclusive of VAT and Professional Fees. Scaffold and special access costs are not included.
- 2.09 No allowance is included for reinstating plaster finish to internal face of external walls in main hall.
- 2.10 Decoration is in poor order throughout. The cost of decoration is not included within our costings. We recommend quotations be obtained and allowed for in considerations to reinstatement.
- 2.11 Should there be any items on which you are not clear, please do not hesitate to contact Allied Building Consultancy.
- 2.12 This report shall be for the private and confidential use of the client for whom it has been prepared and may not be reproduced in whole or in part or relied upon by third parties for any use without the express authority of Allied Building Consultancy.

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**3.00 FINANCIAL SUMMARY**

		<b><u>Urgent</u></b>	<b><u>Essential</u></b>	<b><u>Desirable</u></b>
3.01	Town Hall Externals	£83,120	£48,680	£32,650
3.02	Town Hall Internals	£76,320	£106,870	£49,030
	Total	£159,440	£155,550	£81,680

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Please note that the costs detailed are budgetary in nature and should be used with caution. You will also note that there are a number of items where the costs have allowed for further survey work by specialists. Costs for remedial measures recommended by these specialists have not been included and it is likely that the budget cost will increase substantially once the specialist reports have been received.

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**BUILDING INSPECTION REPORT  
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**4.00 SUMMARY**

The property is generally in a fair to poor condition and has not been maintained over the recent past. There are a number of areas that require remedial works, some of which we have listed below:-

**4.01 Town Hall - Externals:**

1. The slate/lead roof coverings/linings are in poor order. It may be possible to phase replacement roof coverings, but they are generally all considered to fall into either urgent or essential repair categories.
2. Leaking gutters and downpipes with corrosion to areas of metal rainwater goods.
3. Isolated areas of friable and delaminating stonework.
4. Cementitious mortar pointing used in areas of stonework.
5. Cementitious render used on stonework gable which is cracking and has vegetation growth.
6. Lintel above glass blocks for basement toilet cracked.
7. Timber decay to windows, with the majority of windows boarded up.
8. Timber decay to doors with decoration poor.
9. Corrosion to embedded structural steelwork.
10. Cracked and previously repaired areas of roughcast.
11. Stonework boundary wall severely cracked.

**4.02 Town Hall - Internals:**

1. Water ingress throughout building, mainly around south-west rooms.
2. Mould growth to walls and ceilings in certain rooms.
3. Exposed timbers with signs of timber decay and high moisture readings.
4. High moisture readings to roof timbers in void next to Female Toilets.
5. Nail fixings for slates corroding and salt stained due to high levels of moisture.
6. Electrical switchgear near main entrance corroding and in areas of high moisture.
7. Doors warped and sticking on operation due to moisture levels.
8. Structural steelwork corroding in areas of basement.
9. Lintels damaged or missing within basement.
10. Cracked plaster ceilings and walls throughout building.



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4.03 Structural

1. Refer Structural Report.
2. Further investigation works are called for. The full scope of structural repair has not been assessed. Disruptive inspections required.
3. A provisional allowance is included for gable ties along the Clifton Street.
4. A provisional allowance is included for sundry structural repairs. This excludes remedials to concrete/steel frame.

4.04 Electrical Services

1. The property requires a new light, power, emergency lighting and security system. The property should be rewired.

4.05 Timber Rot Specialists

1. Refer Timber Specialist Report.

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**5.0 - CONDITION SCHEDULES**

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
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FRIENDS OF MILLPORT TOWN HALL**



PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT  Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
<b><u>EXTERNALS</u></b>								
	Roofs (Refer roof plan in Appendix B for locations)	Combination of pitched slated roofs with zinc/lead ridges, lead flashings and overcoated lead flat roof with lead flashings.						
	Roof 1	Pitched, slated	Poor Evidence of previous repairs using Welsh slate, principally at lower levels. Several slipped and missing slates elsewhere. No underslating felt below Scottish slates.	Undertake general overhaul to maintain weathertightness.  Programme future replacement of coverings. Undertake phased replacement of slating/underfelt and lead linings.	U  E	3,000	34,280	
	Roof 2	Combination of pitched, slated and lead flat roof overcoated with proprietary felt/paint system, lead flashings/linings	Poor Slating and leadwork in poor order, however, a holding exercise can be undertaken.	Undertake a general overhaul, including oversheeting flat surfaces with felt to obtain weathertightness. Programme future replacement of coverings.	U	3,000		



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						INDICATIVE COST		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	URGENT £	ESSENTIAL £	DESIRABLE £
<b>North-West Elevation (Side)</b>	External Walls	Metal gutters and downpipes	Fair/poor - decoration flaking and worn throughout, leaking gutter joints throughout property, areas of vegetation growth	Overhaul rainwater goods, ensure free flowing and in good order, prepare surfaces and redecorate (allowance)	U	2,500		
		Concrete slab (stairs to basement)	Fair/poor - cracking to concrete slab and water staining/paint flaking internally	Carry out repairs to roof	U	8,400		
		Sandstone	Fair - stonework friable to areas of previous repairs.	Descale loose stonework and monitor	U	600		
			- mortar pointing repairs poor and appears to be cementitious in nature. Areas of vegetation growth.	Rake out and repoint areas of poor pointing	U	3,600		

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						URGENT £	ESSENTIAL £	DESIRABLE £
		Structural repairs	- stonework visibly wet, stained and vegetation growth behind downpipes.  Refer to Structural Engineer report – bulge evident to wall and structural ties covered with metal cladding	Clean down stonework, carry out possible stone repairs  Refer to engineer report for required repairs - Consider replacing metal cladding to match in with character of building	U  D	600		2,200
	Windows	Timber sash and case	Poor - glazing damaged throughout with a large number of windows boarded up. Timber decay evident to window frames and sills, with decoration poor	Carry out major overhaul of windows, including replacing damaged glazing, timber repairs and decoration (allowance) (Consider replacing all windows)	U  D	6,000		18,800

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						INDICATIVE COST			
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	URGENT £	ESSENTIAL £	DESIRABLE £	
<b>North-East Elevation (Front)</b>	Doors	Solid core timber door	Fair/poor - timber decay at low level and decoration poor	Overhaul door and carry out isolated timber repairs, redecorate (Consider replacing)	U	150			
	External Walls	Sandstone	Fair - stonework friable to areas of previous repairs.  - mortar pointing repairs evident, possibly cementitious in nature, isolated pointing appears friable	Descale loose stonework and monitor  Rake out and repoint areas of poor pointing	U  E	600	300	500	
			Structural repairs	- horizontal cracking to lintels above basement toilet window openings	Refer to engineer report for required repairs	U	*		
				- wall bulging and twisting at eaves level along front elevation	Refer to engineer report for required repairs	U	*		

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						INDICATIVE COST		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	URGENT £	ESSENTIAL £	DESIRABLE £
	Windows	PVCu casement	Fair/poor - glazing damaged to windows with majority of windows boarded up/soiling and vegetation to windows with mastic poor in areas.	Carry out major overhaul of windows, including replacing damaged glazing, (allowance) (Consider replacing all windows)	U	3,000		
	Doors	Solid core timber door (w/ glazing to main entrance doors)	Fair/poor - timber decay at low level and decoration poor	Overhaul door and carry out isolated timber repairs, redecorate (Consider replacing)	U	200		9,950
		Metal gate (basement toilet)	Fair/poor - corroding throughout and decoration poor	Rub down door and redecorate	D			1,200
					U	100		



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						URGENT £	ESSENTIAL £	DESIRABLE £
<b>South-East Elevation (Side)</b>	External Walls	Sandstone	Fair/poor - stonework friable to areas of previous repairs/cracking evident to stonework joints and isolated lintels	Descale loose stonework, carry out stone repairs and monitor	U	300		
			- mortar pointing repairs evident, cementitious in nature, isolated pointing appears friable. (allowance)	Rake out and repoint	U	3,000		
		Roughcast brickwork	Fair/poor - previous repairs to roughcast evident. Areas of roughcast spalled, cracked and vegetation growth present.	Hammer test roughcast, hack of defective and re-roughcast (allowance)	U	800		

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		Structural repairs	- roughcast wall at stairs to basement toilet in poor condition with cracking throughout and vegetation growth	Hack off loose roughcast, repair, and re-roughcast access stairs to basement toilets	U	600		
			Refer to Structural engineer report – bulge evident to wall and structural ties covered with metal cladding	Refer to engineer report for required repairs - Consider replacing metal cladding to match in with character of building	D *			
			Horizontal cracking, corrosion to reinforcement and spalling to concrete structure	Refer to engineer report for required repairs	U *			
	Windows	PVCu casement	Fair - vegetation to windows with mastic poor in areas.	Carry out overhaul of windows, replace mastic (allowance)	U	2,250		

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						URGENT £	ESSENTIAL £	DESIRABLE £
<b>South-West Elevation (Side)</b>	Doors	Timber sash and case  Solid core timber doors/ sliding timber door	Poor - glazing damaged with timber decay evident to window frames and sills, decoration poor  Fair/poor - timber decay at low level and decoration poor	Replace windows to match existing  Overhaul door and carry out isolated timber repairs, redecorate	U  U	3,600  300		
	External Walls	Sandstone with rendered finish	Fair/poor - rendered finish severely cracked, potentially boss and cementitious in nature	Remove render, carry out potential stone repairs and make good pointing	U	2,700		
	<b>External Areas</b>	Grounds	Stone wall	Fair - large cracking and wall leaning slightly at south corner of site next to Kitchen/Hall	Refer to engineer report for required repairs	U		

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<b>INTERNALS</b> GROUND FLOOR OFFICE (0/007)		Timber gate	Fair/poor - timber gate decaying and decoration worn throughout	Consider replacing	E		100	
		General	Areas of waste, bins, and overgrown vegetation throughout south garden area	Clear external areas	E		200	
	Ceiling	Lath and plaster, painted	Fair - water damage at south-west corner of room, areas of cracking throughout ceiling	Investigate water ingress, repair, and replace area of plaster ceiling, monitor	U	500		
	Walls	Plaster, painted	Fair - areas of cracking and isolated water damage at south- west corner	Investigate water ingress, repair, and replace area of plaster	U	400		

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						URGENT £	ESSENTIAL £	DESIRABLE £
CLOAKROOM (0/008)	Ceiling	Lath and plaster, painted	Fair - mould growth throughout, possible areas of raised moisture levels	Investigate possible water ingress, repair ceiling and redecorate	U	790		
	Walls	Plaster, painted	Fair/poor - areas of cracking and isolated water damage at south-west corner, mould growth throughout	Investigate water ingress, repair, and replace area of plaster	U	200		
	Door	Timber, painted	Fair/poor - door swollen and does not close correctly	Ease and adjust, consider replacing due to mould in area	E D		70	280
MALE TOILET (0/009)	Ceiling	Lath and plaster, painted	Fair - mould growth throughout, areas of raised moisture levels at south-east corner at external wall	Investigate possible water ingress, repair ceiling and redecorate	U	380		

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						URGENT £	ESSENTIAL £	DESIRABLE £
CIRCULATION (0/006)	Walls	Plaster, painted	Fair/poor - areas of cracking and isolated water damage at south-west corner, mould growth throughout	Investigate water ingress, repair, and carry out plaster repairs	U	240		
			- plaster cracked and high moisture levels around WC pan	Investigate water ingress and repair	U	160		
	Ceiling	Lath and plaster, painted Timber cladding in areas	Fair - high moisture levels and timber decay to panelling near to Office (0/012)	Investigate water ingress and replace timber cladding	U	420		
	Walls	Plaster, painted	Fair - areas of cracking, mould growth throughout	Carry out plaster repairs and redecorate	U D	80		750
	Floor	Vinyl floor finish, on timber flooring	Fair - flooring uneven in areas throughout corridor	Investigate uneven flooring and carry out repairs if necessary	E	250		

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						URGENT £	ESSENTIAL £	DESIRABLE £
KITCHEN (0/010)	Walls	Plaster, painted	Fair - areas of raised moisture levels along base of wall separating Office (0/012) and wall separating stairs	Investigate raised moisture levels and repair	U	300		
OFFICE (0/012)	Ceiling	Lath and plaster, painted	Poor - water damage throughout room with areas of water ponding to floor	Investigate water ingress, repair, and replace ceiling	U	2,980		
			- corrosion staining to plaster on beam at south of room	Investigate possible steel corrosion to beam and carry out repairs (allowance)	U	1,000		
	Walls	Plaster, painted	Fair/poor - areas of cracking and isolated water damage, mould growth throughout	Investigate water ingress, repair, and replace damaged areas of plaster	U	800		

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
CIRCULATION (0/005)	Floor	Vinyl floor finish, on timber	Poor - flooring uneven and water ponding throughout	Investigate uneven flooring and carry out repairs if necessary, ensure water ingress issue resolved (allowance)	U	500		
	Door	Timber, painted	Poor - door swollen and does not operate correctly	Replace door to match existing	E		300	
	Ceiling	Lath and plaster/ plasterboard, painted	Poor - water damage throughout area	Investigate water ingress, repair, and replace ceiling	U	950		
	Walls	Plaster, painted	Poor - high moisture levels to plaster walls throughout, particularly around fire exit door	Investigate water ingress, repair, and replace damaged areas of plaster, possible timber repairs required	U	600		



**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
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LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
HALL (0/003)	Ceiling	Suspended ceiling tiles	Fair - isolated ceiling tiles are water stained/damaged	Investigate and repair	U	250		
	Walls	Plaster, painted	Fair/poor - area of water staining and cracked plaster near to fire exit door at north-west corner	Investigate water ingress, repair, and replace damaged areas of plaster	U	640		
			- water ingress and damaged plaster at window lintel at north-east corner, water staining to exposed lintels	Investigate water ingress, repair, and replace damaged areas of plaster, refer to structural engineer report	U	100		
			- separating wall with Circulation 0/001 is covered in mould and has high moisture readings	Investigate water ingress, repair, and replace damaged wall	U	1,800		

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
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PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
STORE (0/002)	Ceiling	Lath and plaster/ plasterboard, painted	- cracking to plaster wall at high level around stage area  Poor - lowered plasterboard ceiling partially collapsed, high moisture levels throughout	Refer to engineer's report, carry out plaster repairs  Investigate water ingress, repair, and replace ceiling	U *  U	  480		
	Walls	Plaster, painted	Poor - high moisture levels and mould growth to plaster walls throughout area	Investigate water ingress, repair, and replace plastered walls	U	1,350		
	Floor	Timber T&G floorboards	Fair/poor - high moisture readings throughout room with areas of timber decay noted	Refer to timber preservation report	U			

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
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FRIENDS OF MILLPORT TOWN HALL**



PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
ENTRANCE (0/001)	Ceiling	#Lath and plaster, painted	Fair/poor - potential water staining and raised moisture levels, decoration flaking throughout	Investigate possible water ingress, repair, and carry out repairs to ceiling	U	480		
	Doors	Solid core timber door (w/ glazing)	Fair/poor - timber decay at low level and decoration poor	Overhaul door and carry out isolated timber repairs, redecorate (Consider replacing)	U	Incl. previously		
STORE (0/001A)	Ceiling	Exposed timber joists	Fair - spliced timber repairs evident, water staining to timbers near window lintel	Investigate water ingress, repair	U	240		
	Walls	Plaster, painted	Fair/poor - high moisture levels to plaster walls in areas, cracked and boss plaster	Investigate water ingress, repair, and carry out repairs to walls	U	1,350		

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
FIRST FLOOR CIRCULATION (1/001)	Floor	Timber T&G floorboards	Fair/poor - high moisture readings throughout room with areas of timber decay noted	Refer to timber preservation report	U			
	Walls	Plaster, painted Timber panelling	Fair - high moisture levels to plaster walls in areas (near window), cracked and boss plaster, mould to timber panelling	Investigate water ingress, repair, and carry out repairs to walls	U	240		
CIRCULATION (1/004)	Ceiling	Lath and plaster, painted	Fair/poor - water staining, high moisture levels and mould growth to isolated areas of ceiling	Investigate water ingress, repair, and carry out repairs to ceiling	U	240		

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
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LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
TOILETS (1/002)	Walls	Plaster, painted	Fair/poor - raised moisture levels to plaster walls in areas, cracked plaster and mould growth	Investigate possible water ingress, repair, and carry out repairs to walls	U	200		
	Ceiling	Plasterboard/plaster, painted	Fair/poor - water staining, high moisture levels and mould growth to isolated areas	Investigate water ingress, repair, and carry out repairs to ceiling	U	120		
	Walls	Plaster, painted Timber panelling	Fair/poor - raised moisture levels to plaster walls, particularly around downpipe and above windows, cracked plaster and mould growth	Investigate possible water ingress, repair, and carry out repairs to walls	U	180		

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
BASEMENT	Ceiling	Exposed timber joists, steel beams and timber flooring	Fair - areas of water staining and corrosion to supporting steelwork  - water ingress areas and timber decay to areas along Howard Street and Clifton Street elevations, water ingress at south-west corner	Refer to structural engineer report  Investigate water ingress areas, repair, refer to structural engineer and timber preservation report for remedial works to structure/finishes *	U *  U			
	Walls	Exposed brickwork/stonework, painted	Fair - lintels missing to isolated windows, some timber windows with high moisture readings and damage from service installations	Refer to structural engineer and timber preservation report *	U			

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
FEMALE TOILETS (-1/001)	Ceiling	Plasterboard/plaster, painted	Fair/poor - water staining, high moisture levels and mould growth to isolated areas	Investigate water ingress, repair, and carry out repairs to ceiling	U	800		
	Walls	Plaster, tiled	Fair/poor - cracking throughout tiled walls around door openings at lintels  - tiles bulging, cracked and damaged in areas, particularly at stairwell	Investigate, repair, refer to recommendations from structural engineer  Remove and replace ceramic tiles, further investigate cracking	*U  *U			

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	INDICATIVE COST		
						URGENT £	ESSENTIAL £	DESIRABLE £
ROOF VOID at 1/004 CIRCULATION	General	Exposed timber roof structure	Fair/poor - high moisture readings throughout with water staining to timbers, nail fixings corroding throughout, previous timber repairs evident to structure	Refer to timber preservation report for recommended repairs (see later)	*U			
GENERAL	CAWR	<u>Asbestos survey and management</u>	-	Ensure Refurbishment Asbestos survey carried out prior to carrying out works to building, and carry out any recommended works	U	£incl.		
		<u>Structural Works</u>						
		Gable restraint to Clifton Street		New restraint ties	E		5,000	
		Disruptive surveys by Concrete Specialist ( <u>Report only</u> )			U	3,000		



**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
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FRIENDS OF MILLPORT TOWN HALL**



PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
						INDICATIVE COST		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	URGENT £	ESSENTIAL £	DESIRABLE £
		Provisional Sum for isolated repairs ( <u>excludes</u> concrete beams/columns)			E		10,000	
		<u>Timber Specialist Works</u>						
		Roof Void		Spray treat roof voids, provisional allowance for timber repairs (£5,000)	E		10,500	
		External Walls		Replacement of timber safe lintels	E		31,000	
		Floors		Chemical irrigation as indicated	U	21,000		
				Provisional allowance for repairs (£10,000) and treatment	U	13,300		
		Basement		Proprietary water proofing works	D			48,000
				Chemical damp proofing	E		10,000	

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
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PROPERTY: Millport Town Hall, Isle of Cumbrae				B.S. SG	Date: Feb 2019	Job No. BS1454		
						INDICATIVE COST		
LOCATION	ELEMENT	DESCRIPTION	CONDITION DEFECT Good/Fair/Poor	RECOMMENDED REPAIR	PRIORITY U - URGENT E - ESSENTIAL D - DESIRABLE	URGENT £	ESSENTIAL £	DESIRABLE £
		<u>Electrical Installation</u>		Lighting, power and heating, poor order (Provisional Sums)	U  E	20,000	40,000	

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**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**

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**APPENDIX A  
PHOTOGRAPHS**

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**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**

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Photo 1. General front elevation



Photo 2. General Howard Street elevation



Photo 3. Cracking to high level render



Photo 4. Water staining around downpipe

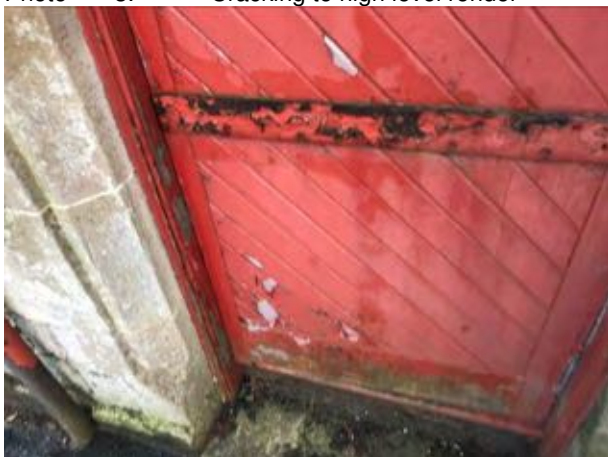


Photo 5. Decaying escape door



Photo 6. Previous mortar repairs to front elevation

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



Photo 7. Timber decay to front doors



Photo 8. General front facing elevations



Photo 9. South-east corner elevations



Photo 10. Cracking across lintel to basement windows



Photo 11. Cracking and vegetation growth to basement toilet entrance



Photo 12. General view of grounds

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



Photo 13. General cracking to structure of south-east extensions



Photo 14. Corrosion to embedded steelwork



Photo 15. General of south-east elevations



Photo 16. High moisture levels and staining to timbers in basement



Photo 17. Corrosion to steelwork in basement



Photo 18. General view of roof void accessed near 1<sup>st</sup> Floor Female Toilet

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



Photo 19. High moisture readings to timber sarking and corroding nail fixings



Photo 20. View of water staining and previous timber repairs to roof void

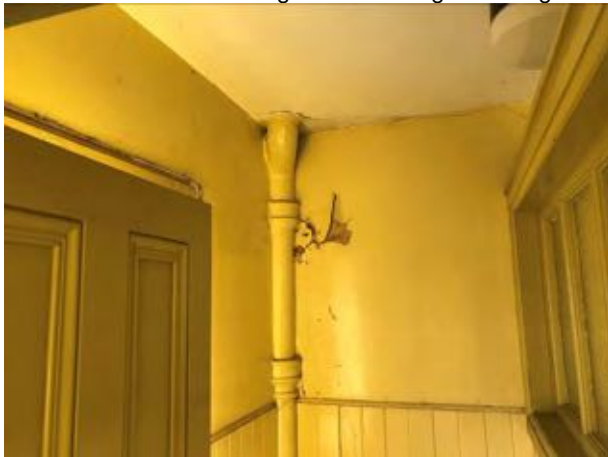


Photo 21. Water damage around downpipe



Photo 22. Mould growth and high moisture levels in store at main entrance

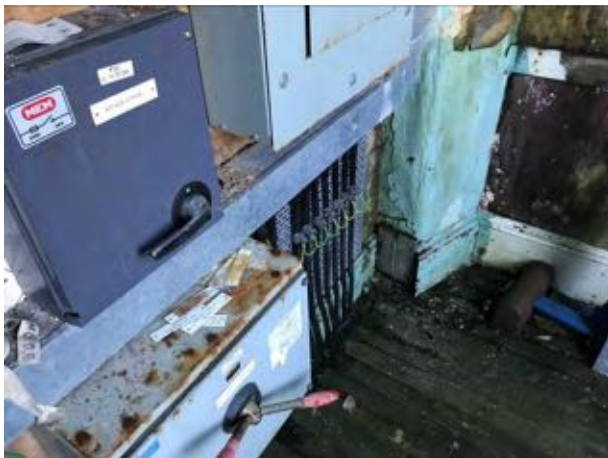


Photo 23. Corroding electrical switchgear



Photo 24. High moisture levels and mould to wall within main hall

**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**



Photo 25. High moisture readings and cracking around door lintels at north-west corner of building



Photo 26. Severe water ingress/damage within room 0/012



Photo 27. Severe water ingress/damage within room 0/012



Photo 28. Mould growth to ceiling within room 0/008 Cloakroom



Photo 29. High moisture readings in Male Toilet



Photo 30. Water damage to ceiling within room 0/007 Office



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**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**

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**APPENDIX B**

**PLANS**

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**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**

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**APPENDIX C**

**STRUCTURAL REPORT**

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**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**

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**APPENDIX D  
ELECTRICAL REPORT**

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**BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL**

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**APPENDIX E**

**TIMBER PRESERVATION REPORT**

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BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL

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APPENDIX C  
STRUCTURAL REPORT

Our Ref: LTR/1327715/R/S

Your Ref:

Date: 05 February 2019

Allied Stewart & Williamson  
35a Union Street  
Greenock  
PA16 8DN  
For the attention of Alan Hutchison

Dear Sirs

### Structural Inspection at Millport Town Hall, Millport

In response to your recent instruction regarding an inspection at the above, we confirm our Mr Campbell visited the above property on the 31<sup>st</sup> January 2019.

The purpose of the inspection was to comment on the general condition of the town hall in relation to possible redevelopment.

#### Description & Observations

The property is located at the corner of Clifton Street and Howard Street in Millport with rear garden grounds sharing boundary walls with neighbouring properties along its southern edge and sharing the gable wall of a three-storey tenemental style property along its western edge.

Construction appears to be typical for its age and style with heavy stone outer walling, dual pitched slated roofs and suspended timber ground floor spanning between outer walls and intermediate steel beams supported on masonry piers within the basement.

From an inspection of the outer walls, they generally appeared to be in a reasonable condition although displaying signs of weathering and movement in places:

- **Northwest Elevation** (along Howard Street)

Stonework and jointing appear to be relatively sharp and intact. However, several sections of previously repaired stonework now appear to be damaged and have become loose.

Significant damp staining could be seen along the base of the side wall and adjacent to each rainwater downpipe.

Open joints in the masonry/.....

#### DIRECTORS

JOHN ANDERSON BSc (Eng) C.Eng. W.I.Struct.E.

ALLISTER CAMPBELL B.Eng (Mech) MSc. C.Eng. W.I.Struct.E.

**Structural Inspection at Millport Town Hall, Millport (Cont...)**

Open joints in the masonry and hairline cracking were noted alongside several downpipes and below the low level roof guttering.

A noticeable outwards lean and bulge could be clearly seen along the Howard Street elevation but evidence of previous structural remedial were noted across the top of the wall – protected and covered over using metal cladding.

Guttering appeared to be choked and damaged in places with significant weed growth noted in places.

Moss/lichen growth, weeds and damp staining could also be seen adjacent to both gables and club skews/flashings.

- **Northeast Elevation (along Clifton Street)**

Stonework and jointing in general appears to be relatively sharp and intact across the gable elevation. However, a slight twist and outwards bulge could be seen at eaves level across the front elevation.

Damp staining was also noted along the base of the wall, below the gable club skews and decorative stone window/door hoods and cills.

The adjacent small hall also appears to be of similar construction and in a reasonable condition albeit cracking could be seen across both Clifton Street basement window openings (lintels).

- **Southeast Elevation**

This area has been altered and extended but also includes the adjacent small hall.

Alongside the smaller hall, a two-storey extension of traditional construction has been built off a steel and concrete frame sub-frame providing an undercroft area and access to the main basement.

A further single-storey extension has also been erected in the South corner alongside the boundary walls on a similar steel and concrete sub-frame with undercroft for storage and access to rear gardens.

Significant damp staining could be seen across the Southeast elevation with damaged/choked gutters and downpipes noted in several locations. Evidence of localised render repairs were noted across both extensions and rear gable wall of the adjacent small hall.

Some of the support frames have been damaged (loose/missing concrete and render) with embedded steelwork now exposed in places and demonstrating severe corrosion. Several main support beams, columns and capping plates now appear to be affected and in need of further investigative works and repairs.

In addition, severe cracking and exposed embedded steelwork could also be seen across the underside of the two-storey extension's suspended upper floor slab. At this stage, we suspect each of these cracks to denote the positions of support beams and will also need to be investigated further.

Cracking and open joints in the masonry were noted across the small hall's gable elevation which appears to continue through both basement outer leaf window lintels.

Southwest Gable Elevation/.....

## Structural Inspection at Millport Town Hall, Millport (Cont...)

### • Southwest Gable Elevation

Several diagonal and vertical cracks, damp staining and sections of loose/damaged render could be seen across the main hall's high level gable wall.

From our external inspection of the high level and low level roofs (restricted to street level) they generally appeared to be in a reasonable condition, although we observed widespread moss and lichen across each slated roof slope as well as several areas of damp staining with choked/damaged gutters.

We also noted a few sections of missing/loose and damaged roof slates and flashings.

The ridge lines appear to be in a reasonable condition, however, slight drops in the roof shape could be seen adjacent to each gable (high level roof) and adjacent to the small hall's Southeast gable elevation.

Evidence of localized flashing repairs could be seen across each roof slope as well as alongside the gables and club skewers. However, several sections of flashings and high level masonry appear to be loose and in need of further repair/remedial works.

Internally, widespread evidence of water ingress and dampness could be seen throughout the main hall and smaller side halls (extensions) across several sections of ceiling and down internal and external walls.

Significant damage was also noted within the rear small hall (in the South corner) with sections of missing lath and plaster, exposing roof timbers and upper floor joists which appear to be damp and exhibiting signs of possible timber decay. Large areas of surface water were noted to be ponding across several sections of suspended ground floor.

Diagonal cracking could be seen across the main hall's Southwest gable wall alongside the stage area - which we suspect match some of the cracks observed externally across this section of walling.

Water ingress and suspected timber decay which may have affected the door lintels over the door opening between the main hall and rear corridor were also noted on the opposite side of the main stage.

Evidence of previous remedial works and repairs could be seen within the main hall along the Northwest elevation with multiple concrete lintels partially exposed across one of the large window openings. The plasterwork in this area appears to be wet and has dropped from the underside of the window opening. The underside of the lintels were also noted to be damp.

Hairline cracking and signs of water ingress with dampness could be seen within the upper floor toilet and across sarking boards/trusses within the attic roof void. Evidence of previous remedial work was also noted within the attic roof void in the form of roof truss rafter end repairs and structural tie rods with steel restraints. Access into the main roof truss void was restricted by the presence of stored materials and wall/ceiling finishes within the main hall.

Within the basement area, several window and door opening lintels appear to be affected by timber decay. In some cases, timber lintels have either been removed or cut away to permit services to pass through with no attempt to replace what has been removed or damaged.

The basement in general/.....



### Structural Inspection at Millport Town Hall, Millport (Cont...)

The basement in general appears to be relatively dry and well ventilated. However, significant signs of water ingress and dampness with suspected timber decay could be seen along Howard Street and Clifton Street with surface corrosion across supporting steelwork. Severe water ingress and dampness was also noted in the South corner at the junction between the main hall and small hall.

### Conclusions & Recommendations

We would conclude from our inspection of the property that the general signs of movement observed throughout were of an historical nature with no real signs of recent movement or ongoing activity. However with a simple inspection it is almost impossible to advise that movement has ceased.

As our external inspection of the roof was from street level, we would recommend giving consideration to a high level roof inspection in order to check the condition of roof flashings and high level masonry.

With regards to the damp staining noted throughout the building we would also recommend that a timber specialist is appointed to undertake a full survey of the property, including all embedded timbers elements such as lintels and joist ends as they can also be prone to decay. They should also be asked to inspect the roof space and report on the condition of the roof timbers, in particular over the rear smaller halls.

In terms of the missing and damaged timber lintels noted within the basement, allowances must be made for repairing or replacing them using multiple Robeslee type C (or equivalent) precast concrete lintels – number of lintels to match structural wall widths and to be provided with 150mm lg. end bearing at each support.

With regards to the cracking observed across several basement stone outer leaf lintels, consideration should also be given to repairing using stainless steel crack-stitch ties and dowels inserted across each crack using an epoxy grout. Depending on the severity of some cracks, additional galvanised steel angles may also have to be installed below the failed lintels.

In terms of the cracking observed across the basement lintels along Clifton Street, downstand beams across the Southeast elevation and soffit to the undercroft, further investigative work is needed in order to determine the extent of the damage and whether or not the embedded steelwork has also been damaged (affected by corrosion) and in need of repairs or remedial works. At this stage, allowances should be made for appointing a concrete repair specialist to investigate the condition of the concrete in these areas and to investigate the steelwork.

Depending on their findings, the concrete repair specialist should be able to provide you with likely costs to treat, repair and/or replace any damaged members.

With regards to the cracking across the Southwest gable, consideration should be given to investigating the areas of cracking with allowances for the installation of stainless steel crack-stitch ties across each crack at regular c/c cast in pre-formed slotted channels using epoxy grout.

Whilst extensive repairs appear to have been carried out across both side walls of the main hall, there weren't any clear signs of remedial works across the Clifton Street elevation. Consideration should therefore also be given to the installation of gable restraint tie rods across the front elevation fixed across adjacent roof trusses/upper floor and bonded to the gable stonework.

This report is based/.....

**Structural Inspection at Millport Town Hall, Millport (Cont...)**

This report is based on a visual, non-disruptive inspection of the property. We did not inspect timbers or woodwork for infestation or decay, nor did we inspect areas, which were covered, unexposed or inaccessible and are therefore unable to report that these areas are free from defects.

This report relates to our views on the structural condition of the above noted property. We can give no assurances that it would be acceptable as security for mortgage purposes for the remit of a Valuation Surveyor is more diverse than ours.

In the preparation of this report, we have exercised the reasonable skill and care to be expected of an appropriately qualified and competent consultant.

This report has been prepared specifically for yourself and is confidential to you only. It may be disclosed to professional advisers assisting you but shall not be disclosed to any third party without our expressed prior written consent.

We trust the foregoing is self-explanatory but please do not hesitate to contact us if you require further assistance.

Yours faithfully



Allister Campbell  
for ATK Partnership Ltd

Encs.

13277 - Structural Inspection at Millport Town Hall, Millport



Front (Clifton Street) elevation



Side (Howard Street) elevation

13277 - Structural Inspection at Millport Town Hall, Millport



Signs of dampness along Howard Street



Southwest gable elevation - render cracking

13277 - Structural Inspection at Millport Town Hall, Millport



Southeast elevation (undercroft)



Southeast elevation - Damaged steelwork, concrete & masonry



Southeast elevation - Damaged support columns



Clifton Street elevation - cracking across lintels



Southeast elevation/undercroft - Damaged steelwork



Southeast elevation/undercroft - Damaged masonry

15277 - Structural Inspection at Millport Town Hall, Millport



Small hall (along Clifton Street) - Water ingress/dampness



Ground floor hallway - Water ingress/dampness





Small rear hall - Water ingress/dampness & damage



Small rear hall - Water ingress/dampness & damage

13277 - Structural Inspection at Millport Town Hall, Millport



Main hall rear wall (Southwest gable) - damaged lintel(s)



Main hall rear wall (Southwest gable) - cracking

13277 - Structural Inspection at Millport Town Hall, Millport



Main hall (Howard Street elevation) - Exposed lintels & water ingress



Main hall (Howard Street elevation) - Water ingress/dampness

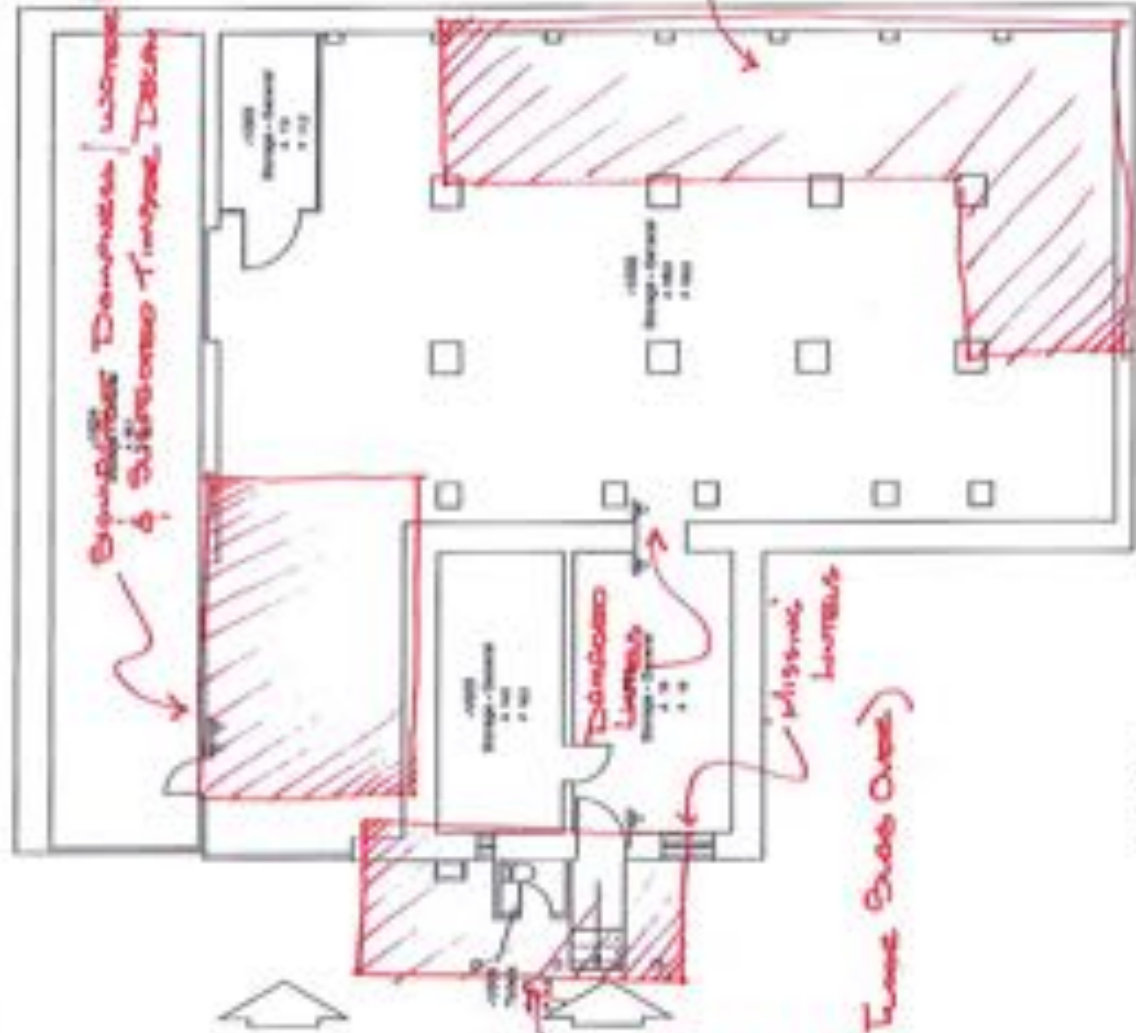


Attic roof void - Signs of dampness/water ingress & previous repairs



Attic roof void - Previous repairs & remedial works

A3



Block 1  
Basement

Clifton Street Cleansing Depot  
G2292784  
GIA: 298 m<sup>2</sup>  
GEA: 344 m<sup>2</sup>



Legend

1	Proposed	North-South
2	Proposed	East-West
3	Proposed	Diagonal
4	Proposed	Other
5	Proposed	Other
6	Proposed	Other
7	Proposed	Other
8	Proposed	Other
9	Proposed	Other
10	Proposed	Other



Project Details

Project Name: Clifton Street Cleansing Depot

Project Address: CLIFTON STREET, MILLPORT, NAH 0AZ

Project Type: Ground Floor Plan

Project Sheet: 1 of 1

Project No: G2292784

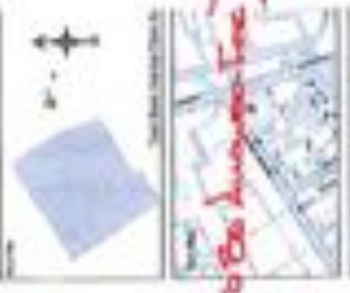
Project Date: 15/10/2014

Project Status: Approved

Project Scale: 1:500

Project Drawing No: G2292784\_001

Project Drawing Title: A



1	Site	1:100
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3	Site	1:100
4	Site	1:100
5	Site	1:100
6	Site	1:100
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10	Site	1:100
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20	Site	1:100

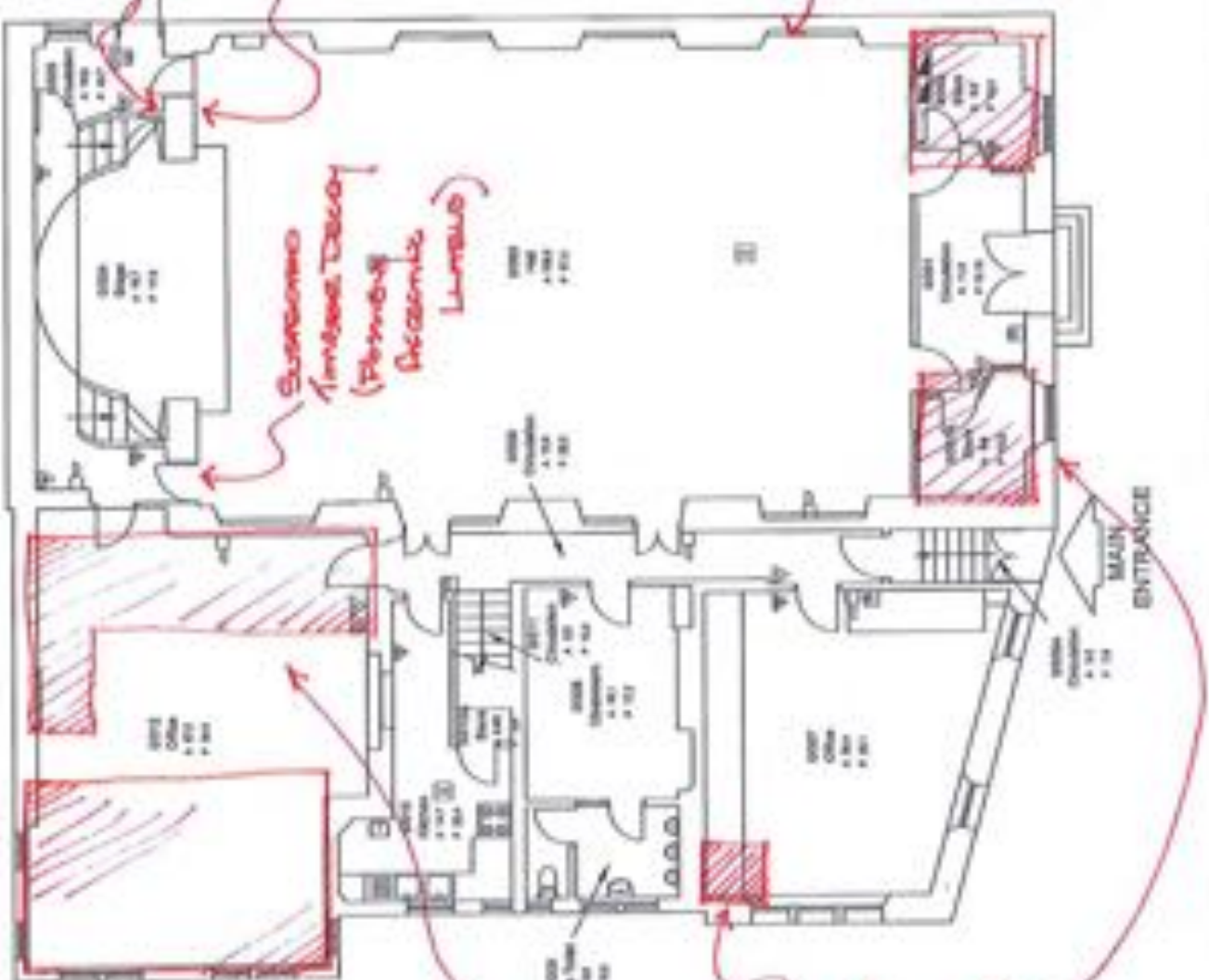
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16	Site	1:100
17	Site	1:100
18	Site	1:100
19	Site	1:100
20	Site	1:100



Project Name		Millport Town Hall
Client		North Devon Council
Address		Millport, MA28 0AZ
Date		10/10/2018
Scale		1:100
Sheet No.		01 of 02
Drawing No.		020001001_01_01_001
Revision		
Author		
Check		
Date		

Millport Town Hall  
G200678X  
GIA: 460 m<sup>2</sup>  
GEA: 514 m<sup>2</sup>

Block 1  
Ground Floor



Casualty  
nurses  
Emergency  
[Remain within 100m Average Time]  
Casualty Nurses  
Emergency

Evacuation Of  
Previous Lunch  
Rooms

Emergency  
Access  
(Primary  
Access  
Lunch)

Disinfectant  
Washers - To Be  
Incorporated  
In Washers  
(Access)

4.9



<input type="checkbox"/>	Structure	✓	Approved
<input type="checkbox"/>	Structure	✓	Not Approved
<input type="checkbox"/>	Structure	✓	Not Approved
<input type="checkbox"/>	Structure	✓	Not Approved
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1	
2	
3	
4	
5	



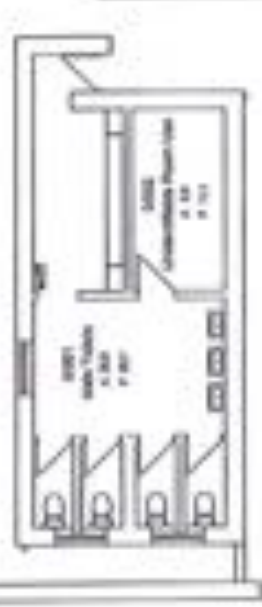
Northey Architects Council  
 Registered Architects No. 1020

Project Location  
 CLIFTON STREET TOILETS, 61-63, 61-63 W  
 No. 1020 (2008)

CLIFTON STREET TOILETS  
 CLIFTON STREET  
 MILLPORT, MASS 01921  
 No. Ground & Basement Plat  
 Sheet 102

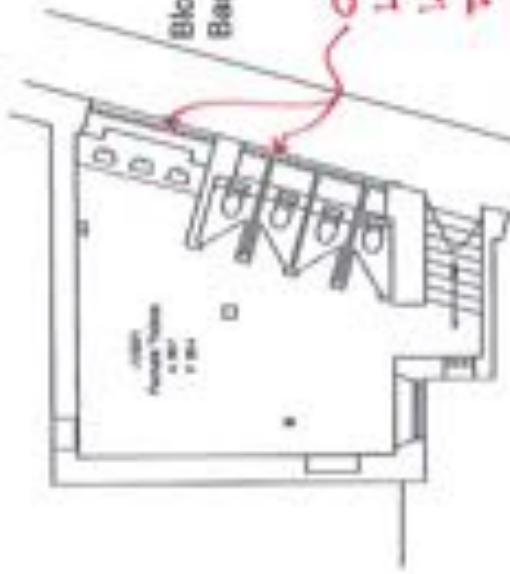
Scale	1/8" = 1'-0"
Date	03/20/2014
Author	John A. Lee
Checker	John A. Lee
Project No.	1020
Sheet No.	102
Project Name	CLIFTON STREET TOILETS

Block 2  
Ground Floor



Clifton Street Toilets - Male  
 G2006854  
 GIA: 33.9 m<sup>2</sup>  
 GEA: 44.3 m<sup>2</sup>

Block 1  
Basement Floor

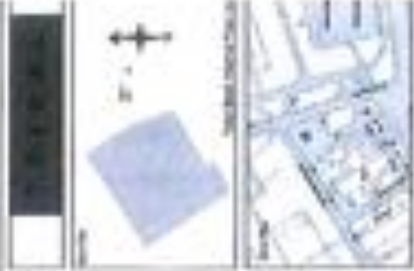
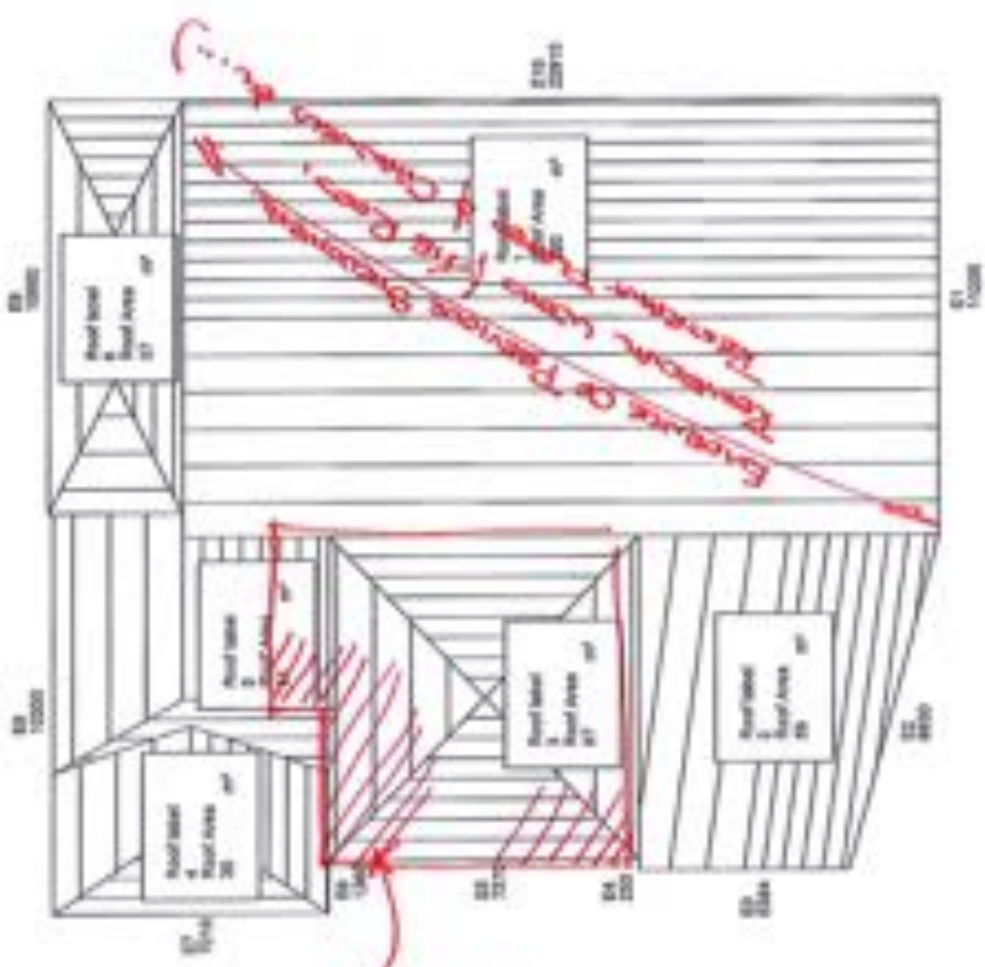


Clifton Street Toilets - Female  
 G2006854  
 GIA: 45.2 m<sup>2</sup>  
 GEA: 57.8 m<sup>2</sup>

*Caecus has  
 turned to the  
 women's  
 toilets with numerous  
 the case. Some security  
 1/2 or 3 women with  
 woman rooms (possibly renovation)*



A2



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



PROJECT GROUP  
Name of  
Physical Description  
COMMERCIAL HOUSE - 2ND & 3RD - 1ST  
No. 10-100-1-1000  
NAME MILLPORT TOWN HALL  
CLIFTON STREET  
MILLPORT, MASS 01462  
No. Roof Plan  
Sheet 3 of 3

DATE 01/10/10  
SCALE 1/8" = 1'-0"  
DATE 01/10/10  
TYPE 2-D  
DRAWN BY [Name]  
CHECKED BY [Name]  
PROJECT NO. 10-100-1-1000



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BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL

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**APPENDIX D**  
**ELECTRICAL REPORT**

## CLYDE ELECTRICAL SERVICES

1 FIR TERRACE, GOUROCK

MOBILE 07979476066



19.02.2019

Dear Alan , following my recent visit to Millport Town Hall here is a brief report on my findings

Switch Room, water ingress from roof seeping in and around switch gear unable to open or switch anything on .

Older type mcb suppling sub boards would require upgrading

Mixed wiring types, pyro, wire armour and single cable used in installation, pvc conduit

Rust shown on metal switch gear would require upgrade..

### Main Main Hall

Dated roof lighting would require upgrading to led panel type

Wiring to lighting to be upgraded

Some sockets of round pin type 15amp to be removed and upgrade socket circuit

Room heaters are of storage type/fan heaters and probably not very efficient if working , spares for these could be obsolete.

The hall would benefit from a new electric heating system

Wire armour cables suppling heater



Sound room all metal clad spurs showing signs of rust and corrosion require upgrading including wiring

Kitchen area, looks as if it has been upgraded recently with consumer unit and metal clad sockets and switches

Corridors and stairwell, lighting is of single pendant and strip lights, would require upgrade and additional lights along with wiring.

Play Group Room, ceiling heating panels showing signs of damage to ceiling requires upgrading of heating panels or different form of heating.

Dado trunking supplying sockets and power to this area.

Emergency lighting of 8 watt tube type that would need to be checked to see if they are charging /discharging correctly .

Upstairs , wall mounted panel heaters in use

Pvc conduit /single cables

Older type mcb in use



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BUILDING INSPECTION REPORT  
MILLPORT TOWN HALL,  
ISLE OF CUMBRAE  
ON BEHALF OF  
FRIENDS OF MILLPORT TOWN HALL



APPENDIX E  
TIMBER PRESERVATION REPORT

A large, stylized graphic of the letter 'V' is positioned on the left side of the page. The 'V' is dark green and is set against a yellow background that fills the lower half of the page. The 'V' is composed of two thick, dark green strokes that meet at a point at the bottom.

Building  
**value**  
into your home

## Survey Report



Client Name	Mr Scott Graham
Company Name	Allied Surveyors
Client Property Address	Millport Town Hall 5 Clifton Street, Millport ISLE OF CUMBRAE KA28 0AZ
Email	Scott.Graham@alliedsurveyorsscotland.com
Telephone Number	0141 337 7594
Surveyed by:	Roddy McKenzie C.S.R.T.
Survey date:	06/02/2019
Survey reference:	EN324909

Dear Mr Scott Graham

Thank you for instructing Wise Property Care Ltd to report on this property. We have confined our inspection to the areas as indicated by you for evidence of the reported issues in accordance with your instructions.

If there are any omissions or if you believe that we have misinterpreted your survey instructions we apologise and if so we would be obliged if you could inform us as soon as possible so we can rectify any problems.

We set out below our findings and recommendations in accordance with our standard specification for wood preservative treatments.

### PROPERTY DESCRIPTION

The property is a Town Hall .

### WEATHER CONDITIONS

At the time of our visit to inspect the above property it was Cloudy with rain .



### OCCUPIED STATUS

At the time of our inspection the property was unoccupied.

### LOCATION

Situations are described facing the front elevation of the property from Front elevation .

### EXTERNAL OBSERVATIONS

A brief external inspection of the property was completed from the ground level only during our visit and the following defects noted:

• Defective roof coverings







Client to instruct the services of a reputable roofing contractor to carry out a full survey of all roof coverings and water management systems.

Client to arrange for a reputable building contractor to carry out an external inspection of all masonry including making comment on the existing timber windows.

## **OBSERVATIONS**

- BASEMENT BLOCK 1 & CLIFTON ST FEMALE TOILETS
- GROUND FLOOR BLOCK 1, 1ST FLOOR BLOCK 1 & PART ROOF VOID ENTERED FROM 1ST FLOOR LEVEL.

## **RESTRICTIONS**

- Our inspection is based upon a close but not intimate examination of the areas specified. Inevitably there will be timbers which could not be inspected fully or at all without opening up. We have so far as possible inspected accessible exposed surfaces available to us. Our recommendations are therefore subject to the qualification that further necessary works may be required once the fabric of the building or a particular element is exposed during the course of our works.

• General observations









During the course of our visual inspection within the basement block it was noted that the construction of the ceiling/ground floor joists would appear to consist of an internal perimeter steel ring beam which is supporting the ground floor joists. The ground floor joists appear not to be built into the masonry where visually inspected.

Our inspection also revealed areas of water staining to the underside of the ground floor joists/T&G flooring where viewed from within the basement. Our inspection at ground floor level confirmed the presence of water lying on the top surfaces of floor coverings suggesting ingress from roof coverings.

We would also recommend that all existing built in timber lintels within the basement are test drilled in order to ascertain their structural integrity.

The basement walls are below street level in places and this also includes the ladies toilet block. Should the above locations be converted during a programme of refurbishment then underground basement works will be deemed necessary and shall have to be carried out by an approved water proofing design specialist employed by (Wise Property Care).

Our water proofing design specialist Mr Stuart McGinley has reviewed the drawing provided and we have included some provisional costs for potential works (All subject to a full inspection and report).

Our walk round visual inspection within the Ground floor rooms within block 1 revealed the following.

1. Water ingress on floor coverings especially within the Large Hall & Office.
2. High levels of moisture readings were obtained on the majority of internal walls either plastered on the hard or strapped and lined throughout the ground floor.
3. Areas of ceiling damage and saturation was evident within the front elevation Store rooms, Office 07, Office 12. Condensation was also evident in various locations within the Kitchen and Male toilets.
4. Dry rot outbreaks were also noted within the Office 012, lining boards, facings also affected around

the stage door frame and extending into the timber safe lintels leading from the Main Hall into the Office 012.

5. Dry rot out breaks were also noted to the mid floor timber beam support at ceiling level within the Office 012 and further investigation will be deemed necessary by means of the main contractor providing an access scaffold to allow further inspection by Wise PC and the clients structural Engineer.

6. It would be prudent for the Main Contractor to remove all floor coverings including uplifting the plywood floor coverings and original T&G flooring due to the water ingress in places.

7. We are also concerned as to the structural integrity of the in-built timber safe lintels throughout the basement, ground floor and 1st floor level.

Our inspection within the 1st Floor block 1 revealed the following.

1. High moisture readings on the majority of internal walls strapped and lined.
2. Evidence of the peziza fungus was also observed within the wc area this fungus is attributed to water ingress.
3. Evidence of water penetration was noted to the ceiling fabric within the Toilet 1/002.
4. Condensation was also evident to the ceiling fabric within the 1st floor level.

Our visual inspection within the walk in roof void at 1st floor level revealed the following.

1. Previous repairs to the roof spars/ceiling joists, Jack spars and roof sarking.
2. Moisture penetration evident to sections of roof sarking.
3. Glasswool insulation in-situ therefore restricting survey of the ceiling joists and perimeter wall head timbers.

Wise Property Care have not inspected the remaining areas of roof voids either due to restricted access, glasswool insulation and height restrictions.

Given the information available to our surveyor we have allowed some provisional costs for the your perusal.

#### **TREATMENT RECOMMENDED**

• We feel that it would be prudent to allow the following budget costs for your perusal.

1. Chemical spray application to roof void timbers using an approved insecticidal/Fungicidal solution. £4888.84 EX VAT.

2. Removal and replacement of timber safe lintels within basement, Ground floor, 1st floor Level. £27,516.36 EX VAT

3. Allow for chemical irrigation to masonry walls as highlighted. £10,500.00 EX VAT

4. Allow for chemical spray application to ground floor joists and boron application to all remaining joist

ends.£2884.00 EX VAT

5.Allow basement water proofing works within the basement and ladies toilets to meet (Grade 2 and grade 3 BS8102 2009)£47,500.00 EX VAT.

6.Allow for chemical damp proofing budget costs £8900.00 EX VAT.

• MAIN CONTRACTOR TO CARRY OUT THE FOLLOWING WORKS AS INDICATED BELOW

- 1.ERECT EXTERNAL SCAFFOLDING.
- 2.REPAIR EXTERNAL ROOF COVERINGS, FLASHINGS, LEADWORK,GUTTERS AS DEEMED NECESSARY.
- 3.STONEMASON TO INSPECT EXTERNAL MASONRY.
- 4.CARRY OUT ALL INTERNAL JOINERY STRIPPING OUT /RE-INSTATEMENT WORKS TO THE ARCHITECTS SPECIFICATION AND DRAWINGS.
- 5.RENEW TIMBER WINDOWS.
- 6.CARRY OUT ALL REPAIRS TO CEILINGS INCLUDING REPLACING CORNICE WORKS.
- 6.APPOINT PLUMBING AND ELECTRICAL CONTRACTOR.
- 7.PROVIDE ACCESS INTO ROOF VOIDS AND REMOVE GLASSWOOL INSULATION AND STORED GOODS WHERE APPLICABLE.



## CLIENT RESPONSIBILITIES

The client is to arrange for the following work (WHICH IS NOT INCLUDED FOR IN OUR QUOTATION):

- Removal of all fixtures and fitting from the treatment area(s) prior to our commencement of works on site
- Removal of all floor coverings including underlays from the treatment area(s) prior to our commencement of works on site
- Disconnection and reconnection of plumbing items within the treatment area(s)
- Disconnection and reconnection of electrical items and wiring within the treatment area(s)
- Disconnection and reconnection of radiators within the treatment area(s)
- Any required decoration including re-tiling of walls and floors
- Employment of reputable roofing contractors to inspect, report and repair any faults with the roof coverings, gutters and downpipes
- Employment of a reputable builder to inspect, report and repair the following noted items below:
- Cleaning of work area(s) and areas leading up to the work area(s). Our operatives will take steps to minimise dust invasion out with the areas of work(s)
- Supply water, power and light

Any defects as noted within 'External Observations' will need to be rectified by the client under a separate contract.

Upon completion of the contract and the account being paid in full our guarantee (if applicable) will be issued, offering you peace of mind by protecting your property for the future.

Where a guarantee is issued by Wise Property Care Ltd it will be conditional upon any building defects being corrected and the building being maintained in a weather tight and waterproof condition.

Completion of the contract to your satisfaction will be identified by either a signature on our operative's worksheet when works have been completed, or by means of a telephone call from our Sales Ledger Department.

In order to comply with Health & Safety Regulations regarding the use of our chemicals it is essential that the areas of treatment remain vacant and well ventilated during and for a minimum of 1 hour after treatment.

## CLIENT NOTE

• Our specialist survey was restricted to those rooms or areas indicated to us and we therefore cannot comment on the conditions which may prevail elsewhere in the property and any contract arising from or deemed to have been entered into by reason of the survey is limited accordingly.

If we receive your instructions to inspect the concealed structural timbers our surveyor will provide a quotation for the required exposure works based on the owner/others removing or setting aside floor coverings/furniture. No allowance is normally made for making good or decorating areas exposed for access. This work should be carried out by the owner/purchaser of the property at their own cost. Wise Property Care Ltd accept no responsibility for the condition of the concealed structural timbers should you decide to proceed without this recommended inspection.

Our inspection was not and should not be relied upon as a substitute for a structural survey. We have not investigated, considered or reported upon any other matter including, without limitations, timbers exposed to the outside or timbers not visible at the time of inspection. However, should you proceed on the present basis; we shall advise you of any other infestation or fungal infection we discover during execution of the works (if any) and advise/quote accordingly.

It may be seen from our specification that we may have included for the removal of the existing plaster. In removing plaster it is not unusual for dust to find its way to the remotest parts of the property. We will take the precaution to minimise this nuisance wherever practical within the immediate area of our work but we respectfully suggest that you should also take some precautions to protect furniture and the like elsewhere in the property. We regret we can take no responsibility for cleaning or for any damage that may be caused by dust, however if you wish us to include for industrial cleaners to visit the property on completion of our works, we can do so.

During our inspection, we carried out an assessment of potential hazards and health risks, which might arise during the course of our works. These were done under the COSHH (Control of Substances Hazardous to Health) regulations 1989. We noted that the property was unoccupied at the time of our inspection and have assumed that it will be occupied when we carry out our works. When you ask us to carry out these works, please let us know if there are any changes in this assumption, or if there are any other material changes when we start work, we can forward a copy of our assessment to you.

The nature of remedial construction works is such that, occasionally, the problem outlined is more extensive than anticipated. Therefore any timescales discussed for the project are indicative only, as extra works may be required. Whilst we make every effort to minimise inconvenience to our customers, we may not, because of other commitments, be able to continue with the extra works immediately. If this is the case, we will schedule the extra works as soon as we possibly can, but cannot be held responsible for difficulties this may cause.

As a company we carry out the following:

- Dry Rot Eradication
- Wet Rot Eradication
- Woodworm Eradication
- Rising Damp control
- Penetrating Damp Control
- Condensation Control
- Basement Tanking (Water management systems)
- Invasive Weed Control (Japanese Knotweed, etc)
- Structural Repairs (Crack stitching, wall stabilisation)

## QUOTATION

The cost of our recommended treatment and associated works (if applicable) is shown within the quotation below. on the attached form and is based on the assumption that the work can be carried out in one continuous operation.

Our quotation covers only those items specifically stated in the report to be under taken by Wise Property Care Ltd. All other repairs and/or ancillary works are to be the responsibility of others under separate contract.

Our quotation is issued subject to it being accepted in writing within a period of 28 days, with the work proceeding within three months of acceptance.

Please complete the enclosed acceptance of quotation and return it to this office where our contracts coordinator Derek McLeod will contact you to arrange a mutually convenient commencement date to carry out the works as detailed in our report.

Alternatively you can contact us at our Glasgow office during office hours on 0141 876 9201 or by e-mail at [derek.mcleod@wisepropertycare.com](mailto:derek.mcleod@wisepropertycare.com)

This report is copyright and is for the above addressee only; we can accept no responsibility for our survey, or this report towards any other person or persons. On no account must it be duplicated or copied in whole or part without the authority of a company director of Wise Property Care Ltd.

## YOUR SURVEYOR AND HOW TO CONTACT US

The surveyor who has been dealing with this property is Roddy McKenzie C.S.R.T. and can be contacted on mobile number . Alternatively, you can also reach Roddy McKenzie C.S.R.T. using the branch details at the front of the report or contact him by email at [Roddy.McKenzie@wisepropertycare.com](mailto:Roddy.McKenzie@wisepropertycare.com).

Yours faithfully,

Roddy McKenzie C.S.R.T.

t  
Glasgow  
8 Muriel St  
Barrhead  
Glasgow  
G78 1QB

t: 0141 876 0300  
e: [west@wisepropertycare.com](mailto:west@wisepropertycare.com)  
0141 876 9201

## Quotation



Client Name Mr Scott Graham  
Company Name Allied Surveyors  
Client Property Address Millport Town Hall  
5 Clifton Street, Millport  
ISLE OF CUMBRAE  
KA28 0AZ  
Date 06/02/2019  
ID EN324909


Description	Total Excl VAT	VAT Amount	Total Incl VAT
-------------	----------------	------------	----------------

Terms and Conditions apply.

I understand the observations and recommendations contained in this report and confirm that they correspond with my instructions to request an estimate for remedial work required in relation to the property. I fully understand and accept the terms of the transferable 20 year guarantee, which only applies in relation to the areas of the property where remediation work has been identified as being required in the report. I accept that the proposed remediation work does not include carpeting, the moving of furniture, removal of fixtures and fittings, painting, electrical or plumbing work unless this has been specifically provided for in the quotation. I confirm that neither a full exploratory examination nor disruptive exposure has been carried out.

Consultant Signature:

Customer Signature

	
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## WISE PROPERTY CARE STANDARD TERMS AND CONDITIONS

1. These terms
- 1.1 These are the terms and conditions on which we undertake any works identified in our survey report which you ask us to carry out.
- 1.2 In particular your attention is drawn to paragraph 5 which relates to the price payable, paragraphs 8 and 9 which set out your rights to cancel this contract, paragraph 10 which sets out the limit of our liability to you and paragraph 11 which sets out how we may use your personal information.
2. Information about us and how to contact us
- 2.1 We are Wise Property Care Limited, a company registered in England. Our company registration number is 20158703 and our registered office is at 8 Mural Street, Barchway, Glasgow G74 1QR. Our registered VAT number 209018000.
3. You can contact us by telephoning our customer service team on the number set out on our quotation or by writing to us at the address on the same form.
- 3.1 "Writing" includes emails, either we use the words "writing" or "written" in these terms, this includes emails.
- 3.2 "Works" includes any works or treatments we provide to you as set out in our survey report and could include some materials and is goods needed to complete these Works.
4. Our insurance arrangements
- 4.1 Following your enquiry to us, we may decide to send a contractor to your property to estimate and assess your requirements. If it is critical that the Works are completed by a particular date you must advise us of this at the time of the survey. The contractor may give you a quotation on the day or to the likely costs of the Works.
- 4.2 You may be required to pay a fee for the survey report. If this is required, you will be told at the time of your enquiry. This fee will be refunded in full should you cancel the survey or if you proceed with all the Works recommended in the survey report. However we will not refund the fee if the survey report is for a continuous control system for your property.
- 4.3 After the visit by our surveyor, we will send to you the survey report containing our recommendations, our Works and our price.
- 4.4 The survey report will contain important information describing our Works, the information we may need from you in preparation for the Works and the actions you may need to take to help us. It will also tell you what we are not doing.
- 4.5 If at the time of receiving the survey report you have not already signed the author giving us permission to proceed with the Works, then if you would like us to perform the Works, you must confirm this in writing. Our acceptance of your order will take place when we contact you whether by email, telephone or letter to accept it, at which point a contract will come into existence. That contract will incorporate these terms and conditions.
5. Cancellations
- 5.1 If you wish to make a change to the Works, please contact us. If the change is possible, we will let you know about any changes to the price, the timing of supply or anything else which may affect as a result of your request and ask you to confirm whether you wish to go ahead with the change.
- 5.2 We may change the Works to implement minor technical adjustments and improvements. If we do this then we shall notify you of the changes and any impact on the Works, timing of supply or anything else.
- 5.3 We will not notify you if we are only substituting materials or equipment of similar quality and performance to those specified in the survey report or any other document issued to you.
6. Price and VAT
- 6.1 The price of the Works identified in our survey report (which includes VAT) will be the price set out in our quotation or as set out in our survey report to you.
- 6.2 Sometimes it is not possible to calculate the full price of the Works. Our survey report will clearly set out the price for the Works and materials set out in it. If additional materials or Works are required we will provide you with a new quotation setting out the price for such additional materials/Works in writing and will not proceed with any such additional work without your written acceptance.
- 6.3 If the rate of VAT changes between your order date and the date we supply the Works, we will adjust the rate of VAT that you pay, unless you have already paid for the order in full before the change in the rate of VAT takes effect.
- 6.4 We shall require payment in full before we commence the Works or, where appropriate, a deposit. The balance shall be due to us immediately on completion of the Works and on receipt of such payment we shall issue to you an invoice for the whole value of the Works.
- 6.5 If you do not make payment to us on completion of the Works we may charge you interest on the overdue amount at the rate of 8% a year above the base lending rate of RIBOR 3% from time to time. The interest shall accrue on a daily basis from the due date until the date of actual payment of the overdue amount, whether before or after judgment. You must pay us interest together with any overdue amount.
- 6.6 If you have any queries regarding the payment that please contact us promptly explaining why you think it is wrong, and we will not charge you interest unless we have notified the issue.
7. Progressing the Works
- 7.1 We will begin the Works on the date agreed with you at the time of the survey or following your acceptance of the Works set out in the survey report. We will let you know before the start of the Works the estimated completion date.
- 7.2 We may need certain information from you or we may require you to carry out certain actions so that we can carry out the Works, for example, clearing rooms or emptying cupboards. If we require your assistance, this will be stated in the survey report.
- 7.3 We will contact you to ask for this information or for you to confirm that you have carried out the actions. If you do not give us this information, or if you give us incomplete or incorrect information, or if you have not carried out your actions, we may either end the contract or make an additional charge of a reasonable sum to compensate us for any extra work that is required as a result. We will not be responsible for completing Works late or not supplying any part of them if this is caused by you not giving us the information or failing to carry out the actions within a reasonable time of us asking.
- 7.4 As our access to all parts of your property may have been limited or restricted during our survey, if when we start providing the Works, we discover that the problem is more extensive than we originally thought then we reserve the right to provide a quote to you for the additional work.
- 7.5 If our completion of the Works is delayed by an event outside our control (including for example unavailability of certain staff due to illness) then we will let you know as soon as possible and we will take steps to minimise the effect of the delay. Provided we do this we will not be liable for delays caused by the event, but if there is a lot of substantial delay you may contact us to end the contract and receive a refund for any Works you have paid for but not received.
- 7.6 If you do not allow us access to your property to perform the works as arranged (and you do not have a good reason for this) we may charge you additional costs incurred by us as a result. If, despite our reasonable efforts, we are unable to contact you or re-obtain access to your property we may end the contract and paragraph 10.2 will apply.
- 7.7 If we are unable to complete the Works on the date we originally advised to you, unless this is due to circumstances outside our control, then you may end the contract but only if you have told us in writing before we accepted your order that the Works had to be completed by that date.
- 7.8 If you do not wish to end the contract, you can give us a new deadline to complete the Works, which must be reasonable, and if we do not meet this new deadline you can then end the contract.
- 7.9 If you do choose to end the contract under paragraphs 7.7 or 7.8 you can cancel your order for any Works only partially completed but we will invoice you for those partially completed Works if the date you have ended the contract.
8. Guarantees
- 8.1 Where the survey report states that our Works come with a guarantee, we shall issue to you the guarantee upon receipt of payment in full. The terms of the Guarantee are shown on the relevant certificate of Guarantee.
9. Correspondence
- 9.1 If you end the contract for a reason set out in 8.1 to 8.3 below the contract will end immediately. The reasons are:
  - (a) we have told you about an upcoming change to the Works or these terms which you do not accept,
  - (b) we have told you about an error in the price or description of the Works you have ordered and you do not wish to proceed,

## WISE PROPERTY CARE STANDARD TERMS AND CONDITIONS

- 10.1 There is a risk that the supply of the Works may be significantly delayed because of events outside our control.
- 10.2 We have or we wish to suspend the supply of the Works for technical reasons (for example due to the presence of asbestos or lead), in each case for a period of more than twenty-eight days or until we get the appropriate statutory consent, whichever is the later, or
- 10.3 you take a legal right to end the contract because of something we have done wrong including because we will be unable to complete the Works by the date you specified when you confirmed your acceptance under paragraph 3.5.
- 4.2 To end the contract, please contact the local service office on the telephone number or e-mail address set out in the quotation. Please provide your name, home address, details of the order and, where available, your phone number and email address.
- 4.3 We will refund to you the price you paid for the Works not yet provided, by the method you used for payment. However, we may make deductions from the price (i.e. if you have not made an advance payment, charge you) the reasonable costs we will incur as a result of you ending the contract.
5. **EXERCISE RIGHTS TO CANCEL**  
**THESE TERMS AND CONDITIONS ONLY APPLY IF YOU ADD A COMMENT AND YOUR HOME ADDRESS INTO A COMMENT ON OUR WEBSITE CONTACT.**
- 6.1 If this applies, then under the Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013 you have a legal right to change your mind within 14 days.
- 6.2 Because you have this legal right to change your mind, we will not provide the Works to you until after the 14 day period has expired (the 'Cooling off period').
- 6.3 If you believe the Works are urgent and you would like us to commence the Works during the Cooling off period then you must sign a waiver giving us permission to start early.
- 6.4 You must realise that by giving us permission during the Cooling off period you may lose your right to cancel and this will mean that:
- (a) if we have completed the Works in full you cannot change your mind, even if the 14 day Cooling off period is still running, or
  - (b) if you cannot after we have started the Works but before the Works are completed during the Cooling off period, you must pay us for the Works to the extent completed at the time you tell us that you have changed your mind.
- 6.5 If you are ending within 14 days of signing the contract under paragraph 3.2, please complete the cancellation form at the end of the order form or contact us on the number set out in the quotation.
10. **OUR RIGHTS TO END THE CONTRACT**
- 10.1 We may end the contract for works at any time by writing to you if:
- (a) you do not make any payment to us when it is due and you still do not make payment within seven days of us reminding you,
  - (b) you do not, within a reasonable time of us asking, provide information we require or carry the actions that are necessary for us to provide the Works, or
  - (c) you do not, within a reasonable time, allow us access to your premises.
- 10.2 If we end the contract in the situations set out in paragraph 10.1 we will refund any money you have paid in advance for the Works we have not provided but we may deduct or charge you reasonable compensation for the net costs we will incur as a result of your breaking the contract.
11. **IF THERE IS A PROBLEM WITH THE WORKS**
- 11.1 If you have any concerns or complaints about the Works, you can contact us in accordance with our complaints procedure which can be requested by telephoning our customer service team on the number set out on our quotation or by writing to us at the address on the same form.
- 11.2 If you believe there is a fault or problem with the Works we have provided, then you must contact us promptly so that we have an opportunity to fix the problem. If you fail to give this opportunity and instead use another company then any additional charges or losses you have suffered will not be recoverable from us.
- 11.3 If you have not contacted us with any complaint within 6 months of completion of the Works we will be entitled to assume that the Works were performed satisfactorily.
12. **OUR LIABILITY FOR LOSS OR DAMAGE SUFFERED BY YOU**
- 12.1 If we fail to comply with these terms, we are responsible for loss or damage you suffer that is a foreseeable result of our breaking this contract or our failing to use reasonable care and skill, but we are not responsible for any loss or damage that is not foreseeable.
- 12.2 If we are undertaking Works in your property, we will make good any damage to your property caused by us but our total liability to you arising from the damage will be limited to twenty thousand pounds (£20,000). However, we are not responsible for the cost of replacing any pre-existing faults or damage in your property that we discover while providing the Works.
- 12.3 Nothing in this paragraph 12 or elsewhere in this contract excludes or limits our liability for death or personal injury caused by our negligence, for fraud or fraudulent misrepresentation, or to the extent such liability may not be excluded or limited at law.
13. **HOW WE USE YOUR MOST RECENT CORRESPONDENCE**
- 13.1 We shall process your personal data, including sending you marketing information, in accordance with applicable data protection legislation and our privacy notice which is located at <https://www.wisepropertycare.com/privacy-notice/privacy-notice-policy.aspx>.
- 13.2 If you do not wish to receive marketing information from us you can opt out here: [opt-out@wisepropertycare.com](mailto:opt-out@wisepropertycare.com). We will continue to send you communications as necessary for the performance of the contract under the services we are providing to you.
14. **OTHER SERVICE PROVIDERS**
- 14.1 We may transfer our rights and obligations under these terms to another organisation.
- 14.2 You may only transfer your rights or your obligations under these terms to another person if we agree to this in writing. However, you may transfer our guarantee at paragraph 7.1 to a person who has acquired your property. We may require the person to whom the guarantee is transferred to provide reasonable evidence that they are now the owner of the property.
- 14.3 This contract is between you and us. No other person shall have rights to enforce the terms.
- 14.4 Each of the paragraphs of these terms operates separately. If any court or relevant authority decides that any of them are unlawful, the remaining paragraphs will remain in full force and effect.
- 14.5 If we do not know immediately that you do anything you are required to do under these terms, or if we delay in taking steps against you in respect of your breaking this contract, that will not mean that you do not have to do those things and it will not prevent us taking steps against you at a later date.
- 14.6 These terms are governed by Scottish law and legal proceedings will be in the Scottish courts.
- EXPRESS REQUEST TO COMMENCE THE DELIVERY OF WORKS EARLY**
- I hereby request the immediate performance of the works and acknowledge that I will lose my right of withdrawal from the contract once the works are fully performed. I also understand that if I cancel and the works are not complete I will be liable to pay for any works up to the date I cancelled.
- Please commence the works within the Cooling off Period



## What makes us great?



### Recognised by Which?

1st Scottish Preservation Company to be endorsed and recognised by Which? Visit [trustedtraders.which.co.uk](http://trustedtraders.which.co.uk) to see what makes a trader with this status so special.

### Average Rating



### Rated and Recommended

Average 4.5 star rating online. In addition, our customer questionnaires show that 96% of customers would recommend us



### Award Winning Contractors

Property Care Association Award Winners in 2014 and commended in 2011. Also awarded 'Best Business Turnaround' and recent finalist in both 'The Entrepreneur of the Year' and 'Chamber of Commerce Business Awards'



### 40 Years Experience - Scottish Based

40 years experience in building preservation serving Scotland with local branches Scotland wide. Scottish company...local service.

### Our Professional Memberships and Accreditations



For more information about our professional memberships, watch our video at:

[wisepropertycare.com/approvedcontractor](http://wisepropertycare.com/approvedcontractor)

## Specifications

We reserve the right to change these specifications at any time without notice, subject to changes in technology, improvement in materials or in particular cases where a change might be technically necessary during the course of the work.

### 1. Workscope

We propose to fit lead on every suitable surface of the exterior fabric as possible. The treatment of the various areas indicated by Common Inspection Levels (Condition 1-5) below, such as: Brickwork, Masonry, Rendered Masonry, Concrete, Plaster, etc. In cases of uncertainty from condition levels 4 & 5 above, these treatments are implemented as follows: after cleaning, and every 500mm to avoid moisture, unless it is more practical where structural strength is severely impaired.

#### A. Roof Lead Treatment

Close down or dressed masonry of exposed roof ledges. Apply treatment to all dressed surfaces of all the ledges.

#### B. Floor Treatment

Fit without floor finish. Apply treatment to all exposed surfaces. By providing floor finish remaining where specified in our report.

#### C. Chimney and Gable Treatment

From below to 25% of the depth of the external fabric in the base concrete courses, to replacement existing flights. Apply treatment to all masonry exposed surfaces of the fabric. The treatment may be supplemented by recommendations in our report.

#### D. Window Treatment

Apply treatment to all masonry surfaces. Existing window treatment may also be specified for wall string and other features where access is not possible.

### 2. Wet Rot

- Address any timber fabric or structure that has already been treated or treated. Remove from the area, where possible, from the work.
- Replace with treated timber as specified in paragraph 10. All such timber to be prepared or treated on site.

### 3. Dry Rot

Where dry rot fungus (termites) is present, check the timber under conditions of damp and inadequate ventilation. If termite proofing is required, check the timber for termite damage, particularly around and attacking timber from the original source of being laid. Part of the fungus/termite infestation in timber or soil areas are capable of developing independently, and it is therefore essential that the fabric of any affected structure is thoroughly treated. The report will, as far as possible, outline the extent of the attack and specify the appropriate actions of the following treatments, for the entire site.

- Cut away all timber as specified in our report, and remove from the premises.
- Remove plaster and rendering coats as specified above.
- Clean all exposed walls and other surfaces to remove surface vegetation of the fungus. All holes of damaged walls or ceiling should be grouted to the perimeter of the exposed area to a depth of 1/2 to 2/3 of the wall thickness.

Inject each hole and apply fungicide to all surfaces specified in our report.

- Apply fungicide liberally to all timber surfaces as specified.
- Replace any timber that has been removed with treated timber, after pre-treatment or treated with fungicide on site. Treat with a fungicide with fungicide grade and termite-damp conditions to be covered with termite proofing.
- Recreate all previously removed surfaces according to our plastering specification.
- Plaster and finish as brick, as specified in our report.
- Diffuse oxygen around perimeter of floor and window openings within the dry rot area.

### 4. Fungal Decay (Special Note)

Inspect all timber fabric wall and dry rot fungus. Our report will, where possible, identify the source of the fungus and specify any other steps that may be necessary to remedy it. One of the most important reasons for the remedy of fungal decay is the transmission and maintenance of its conditions, which, in some instances, would be unlikely to occur in most of our sites. Treatment is required to reduce the growth, to reduce fungal decay and to prevent the spread of the fungus to other parts of the building. It is noted that the presence of dry rot is a condition for professional treatment and this is an essential condition of our guarantee.

### 5. Chemical Damp-proof Course

The inclusion of a chemical damp-proof course is recommended for most types of building, and before the application of any of our products into fabric should be inserted into the wall, at least 100mm above ground level, by one of the following methods:

- Self-healing bitumen: There is 100mm gap into the masonry at the level of the damp proofing as described in our report.
- Inject each hole under pressure with a solution of sodium silicate from distribution.
- Waterproof cementitious with sand cement mortar in mass.
- Coily wall may be filled and injected either from one side or from both sides, depending upon the circumstances surrounding the operation.
- All joints and fittings will also be covered by our operators in their distribution as specified in our report's report.

**NOTE:** In some circumstances we recommend the membrane process for chemical damp-proofing. The specifications will be identified in our report.

### 6. Injection Course

- Close down or dressed masonry of exposed roof ledges to a depth of 1/2 to 2/3 of the wall thickness.
- Fit without floor finish.

### 7. Electro-Osmotic Damp-proof Course

- Close down or dressed masonry of exposed roof ledges to a depth of 1/2 to 2/3 of the wall thickness.
- Fit without floor finish.
- Close down or dressed masonry of exposed roof ledges to a depth of 1/2 to 2/3 of the wall thickness.
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- Close down or dressed masonry of exposed roof ledges to a depth of 1/2 to 2/3 of the wall thickness.

### 8. Plastering

- Address damp-proof course in wall, masonry construction, other walls or fabric or structure of the wall.

The construction will integrate to the surface of the wall, after having completed the treatment. These repairs are done and when necessary to be done and the wall after being in a damp area, particularly during the winter months. The damp-proof course will be done before the installation of a damp-proof course with other masonry work being done. It is because of this that correct plastering is of paramount importance to ensure a dry wall.

- Where using damp-proof construction plaster, the plaster will be removed to an area 100mm beyond the damp course. The damp-proof course will be done before the plaster is done.
- The wall should be prepared using suitable formwork to ensure the plaster is applied to a surface of 100mm beyond the damp course.
- The plaster will be applied to the wall and the floor will be done before the plaster is done. The plaster will be applied to the wall and the floor will be done before the plaster is done.
- All joints and fittings should be covered with a suitable material to ensure the plaster is applied to a surface of 100mm beyond the damp course.
- The floor to wall joint should be sealed with a suitable material to ensure the plaster is applied to a surface of 100mm beyond the damp course.

### Client Information

The following information is provided to assist you in understanding the scope of the work and the responsibilities of the contractor. It is not intended to be a contract or a guarantee. It is only a guide to the work and the responsibilities of the contractor. It is not intended to be a contract or a guarantee. It is only a guide to the work and the responsibilities of the contractor.

#### GENERAL NOTES: WORK IS COVERED BY OUR PROPERTY CARE

- The client should ensure that water is not allowed to accumulate in any area where the Property Care is on site.
- The Property Care Contractor is not responsible for any damage to the building or its contents, including plaster, or any other damage to the building or its contents, which is caused by the work and is not covered by the Property Care. It is not recommended that the contractor is not responsible for any damage to the building or its contents, which is caused by the work and is not covered by the Property Care.
- The Property Care cannot accept any responsibility for any damage to the building or its contents, which is caused by the work and is not covered by the Property Care.
- Where the Property Care has been included in the contract and the contractor is not responsible for any damage to the building or its contents, which is caused by the work and is not covered by the Property Care. It is not recommended that the contractor is not responsible for any damage to the building or its contents, which is caused by the work and is not covered by the Property Care.
- Any work on the property that is not covered by the Property Care will be the responsibility of the client. It is not recommended that the contractor is not responsible for any damage to the building or its contents, which is caused by the work and is not covered by the Property Care.
- Where work is an external wall it is to be carried out from the neighbour's property. It is the responsibility of the client to ensure that the neighbour's property is not damaged by the work and is not covered by the Property Care.
- Where work is on the interior of the property that the Property Care will take every care of the work and the client should ensure that the work is not covered by the Property Care.
- The Property Care reserves the right to change or vary its recommendations from time to time without notice, to ensure that the contractor is not responsible for any damage to the building or its contents, which is caused by the work and is not covered by the Property Care.
- With regard to the cost of the treatment, our clients should be aware that the cost of the treatment is not included in the contract and the contractor is not responsible for any damage to the building or its contents, which is caused by the work and is not covered by the Property Care.



# Certificate of Guarantee

Client: \_\_\_\_\_ Contract No.: \_\_\_\_\_  
Address: \_\_\_\_\_ Report Date: \_\_\_\_\_  
Property: \_\_\_\_\_ Work Description: \_\_\_\_\_  
Completed: \_\_\_\_\_

- ✓ A This Guarantee is issued to the above named client in respect of work carried out by Wise Property Care Ltd. Hereinafter referred to as WPC at the above named property in accordance with the above mentioned report, estimate and contract.
- ✓ B WPC guarantees for a period of 20 years from the date that the contract was complete that any continuation or recurrence of deterioration by wood boring insect or attack by a wood rotting fungus in any of the timbers treated against such decay will be treated free of charge to include such re-treatment as may be necessary, excluding redecoration.
- ✓ C Should the damp course installed as detailed in the report fail to prevent the rise of dampness from the earth into the walls within a period of 20 years from the date that the contract was completed, WPC guarantees to repair the failure free of charge, excluding redecoration.
- ✓ D In the event of a claim under the terms of this guarantee, it is essential that this guarantee certificate and all of the original reports (and sketches where applicable) are provided by the claimant, to the company, together with the then appropriate investigation charge (this charge will be refunded in full if any treatment covered by clause B and C above has failed, subject to the conditions in clause E' below). Failure to provide the abovesetioned documents and/or fee will invalidate the guarantee.
- ✓ E This Guarantee will become invalid in any one or more of the following circumstances:
  - Where the property has not been kept in a good and proper state of maintenance including rainwater goods and disposal systems, domestic plumbing, internal and external ground levels relative to the damp proof course, adequate sub-floor ventilation and general structure of the property.
  - Where recommendations given by WPC have not been complied with.
  - Where, subsequent to the completion of treatment, there has been any disturbance of the works carried out by way of structural alterations, repairs, settlement or subsidence of the building or otherwise.
- ✓ F This Guarantee does not extend to furniture and doors.
- ✓ G The rights conferred upon the client by this document shall be in addition to any rights the client may have at Common Law.
- ✓ H In the event of disposal of the property, the subject of this Guarantee and the benefits of this Guarantee shall be assigned by the client named above to the new owner provided that within three months of the change of ownership of the property, the new owner shall have:
  - Given written notice of the change to WPC
  - Permitted WPC's representative to inspect the property to ensure that all conditions have been complied with.
  - Paid WPC's then current transfer and inspection fee
  - This Guarantee is conditional upon WPC receiving payment in full for the work carried out at the above named property in accordance with the above mentioned report, estimate and contract.

For and on behalf of Wise Property Care

\_\_\_\_\_

Date: \_\_\_\_\_

[www.wisepropertycare.com](http://www.wisepropertycare.com)

For all guarantee enquiries, contact your closest office at:

8 Muir Street, Barrow, Glasgow G75 1QB

T: 0141 876 0000

F: 0141 876 0000

E: [headoffice@wisepropertycare.com](mailto:headoffice@wisepropertycare.com)

Alternatively, visit your local branch website at  
[wisepropertycare.com/branches](http://wisepropertycare.com/branches)



Ensure your guarantee is safe  
Be Sure - Insure



- ✓ PCA Approved
- ✓ Provides cover where contractor ceases to trade
- ✓ Provides access to Financial Ombudsman Service
- ✓ Individual insurance certificates for multiple properties
- ✓ GPI is a member of the Financial Services Compensation Scheme
- ✓ Automatic free assignment on sale of property
- ✓ GPI is a UK authorised and regulated insurance company

[wisepropertycare.com/gpi](http://wisepropertycare.com/gpi)

0800 65 22 678



WET ROT | DRY ROT | WOODWORM | RISING DAMP | CONDENSATION | BASEMENT SYSTEMS | GUARANTEES

## The Wise Choice?

### Scotland's Leading Provider of Property Care Services

Wise Property Care has grown dynamically over the last decade by providing high quality and technologically advanced services. Wise Property Care has become the professional's first choice for in-depth low disturbance investigations and sympathetic remediation regimes.

### Privately Owned and Local

While Wise Property Care is a national company, it continues to be owned and operated by Scottish experts for Scottish property owners. Wise Property Care operates on the principle of providing services that the owners would themselves expect to experience and is proud of its local coverage and quality of service.

### True Value for Money

"It is unwise to pay too much, but it is unwise to pay too little. The common law of business balance prohibits paying a little and getting a lot. It cannot be done. If you deal with the lowest bidder, it is well to add something for the risk you run."

John Ruskin (1819 - 1900)

We offer Value for money without compromising quality of work or materials.

### Local Coverage

Wise Property Care realise the importance of employing local people who have the benefit of local knowledge and the ability to serve an area promptly. Regional offices in Glasgow, Edinburgh, Falkirk, Kinross, Dundee, Aberdeen, Haverhill and Ayrshire support our countryside surveying staff.

### Minimum Disruption to Your Life

In recent years there have been substantial advances in the products used to treat preservation problems. So much so, that in the majority of cases, it is possible to re-enter a treated area after 1 hour. Today all products are water rather than solvent based meaning there are now no offensive odours. These innovations translate into reduced disruption to the lives of our customers and clients can be assured that it is safe to have preservation work carried out. Wise Property Care wish to reduce inconvenience as much as possible and can discuss any special requirements with individual home owners.

### Award Winners

Wise Property Care's performance is reflected in awards bestowed upon the company by independent organisations. In recent years, the company has been awarded 'Best Business Turnaround' at the National Business Awards of Scotland 2001; been 'Commended for Innovation'



by the 'Property Care Association' and has been named as a finalist in the 'Entrepreneur of the Year' awards, 'Chamber of Commerce Business Awards' and the '100 Scotland Director of the Year Awards'.

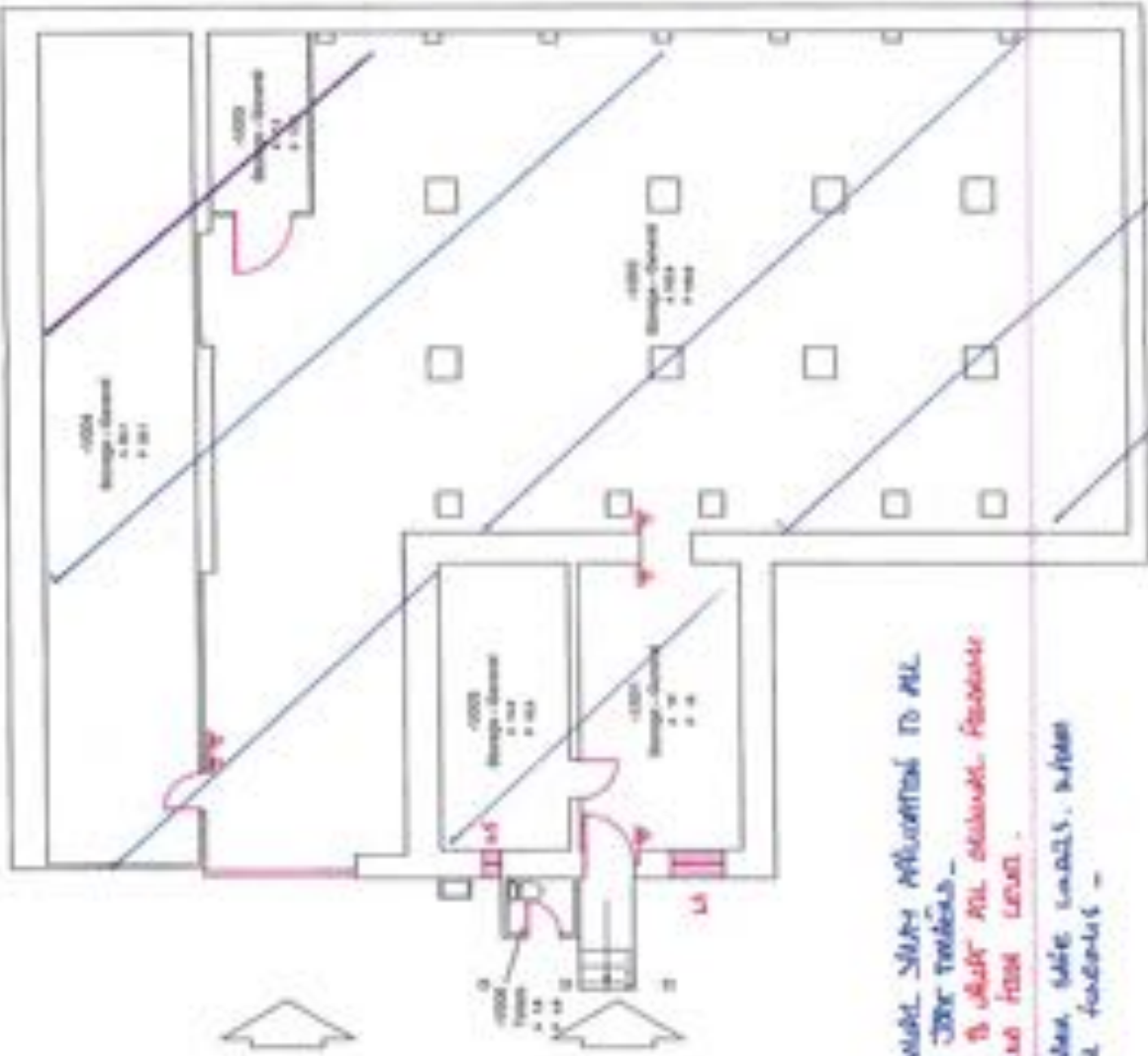
### Guaranteed Peace of Mind

Wise Property Care is a member of the Property Care Association (PCA), helping to build best practice within the industry. The company is also a member of 'Guarantee Protection Insurance', an independent organisation which offers insurance-backed guarantees in addition to the Wise Property Care 20 year company guarantee. Wise Property Care is actively involved in ensuring the highest industry standards to the extent that since 1997, Les Meille (MDI) has been chairman of the Scottish Region of the PCA and is currently the Deputy Chairman of the PCA in the UK.

### Assured Quality

Wise Property Care is an approved ISO 9001: 2000 and ISO 14001 registered firm demonstrating our commitment to quality in company administration systems.





Clifton Street Cleansing Depot  
 G2292784  
 GIA: 296 m<sup>2</sup>  
 GEA: 344 m<sup>2</sup>

Block 1  
 Basement

W&E

Check out structural slab allocation to all  
 elements from other trades -  
 make connection to all all elements. Provide  
 details at column base level.

Ⓢ Not clear, further, like small, but  
 must with all details -



North Arrow  
 0°

- Legend
- ① Foundation
  - ② Structure
  - ③ Services
  - ④ Landscaping
  - ⑤ External
  - ⑥ Internal
  - ⑦ External
  - ⑧ Internal
  - ⑨ External
  - ⑩ Internal
  - ⑪ External
  - ⑫ Internal

1		
2		
3		
4		
5		



North Pyraline Council  
 Community Development & Planning

Project Name  
 Project Location  
 Project Number

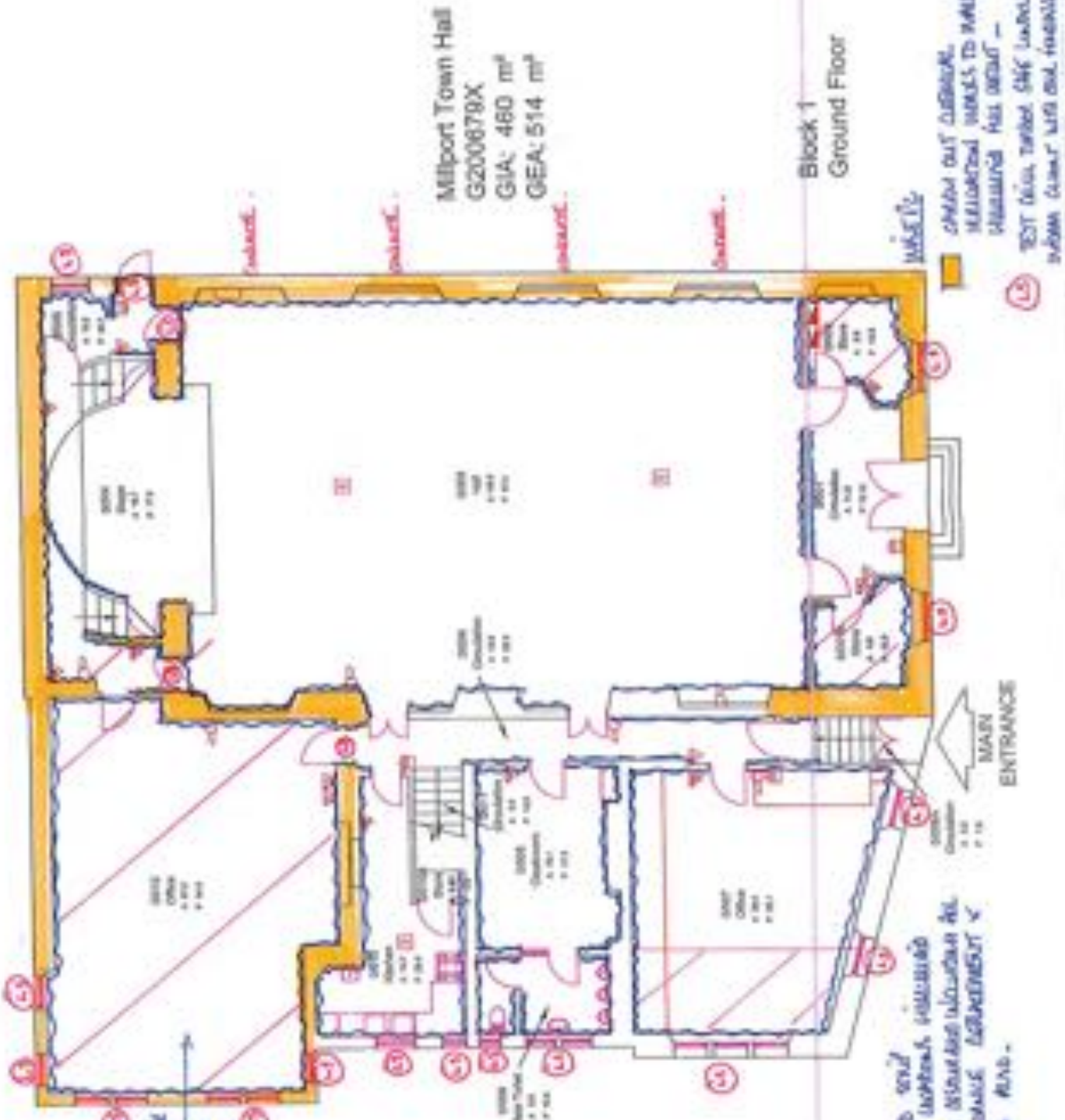
Client  
 Clifton St Cleansing Dept  
 CLIFTON STREET  
 MILLPORT, WA208 0AZ

Site  
 Ground Floor Plan  
 Sheet 1 of 3

Date  
 Drawn by  
 Checked by  
 Scale  
 Date  
 Project No.  
 Drawing No.  
 Drawing Title


 100% COEFFICIENTS TO BE USED  
 THROUGHOUT CONSTRUCTION  
 UNLESS NOTED OTHERWISE  
 IN THE DRAWINGS.

100% COEFFICIENTS TO BE USED  
 THROUGHOUT CONSTRUCTION  
 UNLESS NOTED OTHERWISE IN  
 THE DRAWINGS.



North Ayrshire Council  
 Development Department

PROJECT TITLE  
 Millport Town Hall  
 PROJECT LOCATION  
 Clifton Street  
 Millport, KA28 0AZ  
 DRAWING NO.  
 Ground Floor Plan  
 SHEET NO.  
 100

DATE	10/01/2011	PROJECT STATUS	COMPLETED
BY	J.M.	SCALE	1:100
CHECKED BY	J.M.	DATE	10/01/2011
APPROVED BY	J.M.	DATE	10/01/2011

DRAWN BY  
 J.M.

CHECKED BY  
 J.M.

APPROVED BY  
 J.M.

~ ~ ~ ~ ~  
MESH CONSTRUCTION SHEET / UPGRADE

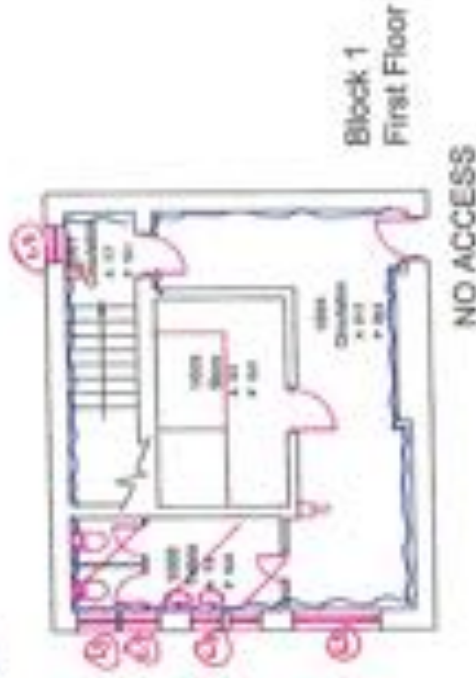
IMMEDIATE WALLS FOLLOWING -

WALL CONSTRUCTION TO REMOVE COLLISION POINTS & REDUCE RISK OF COLLISIONS -



(5) REMOVE PATIO DOOR

TO BE REPLACED WITH GLASS DOORS  
TO IMPROVE VISIBILITY WITH OUR RESIDENTS -



1	Project Name	Millport Town Hall
2	Client	North Agriprene Council
3	Project No.	2024/001
4	Revision	
5	Date	



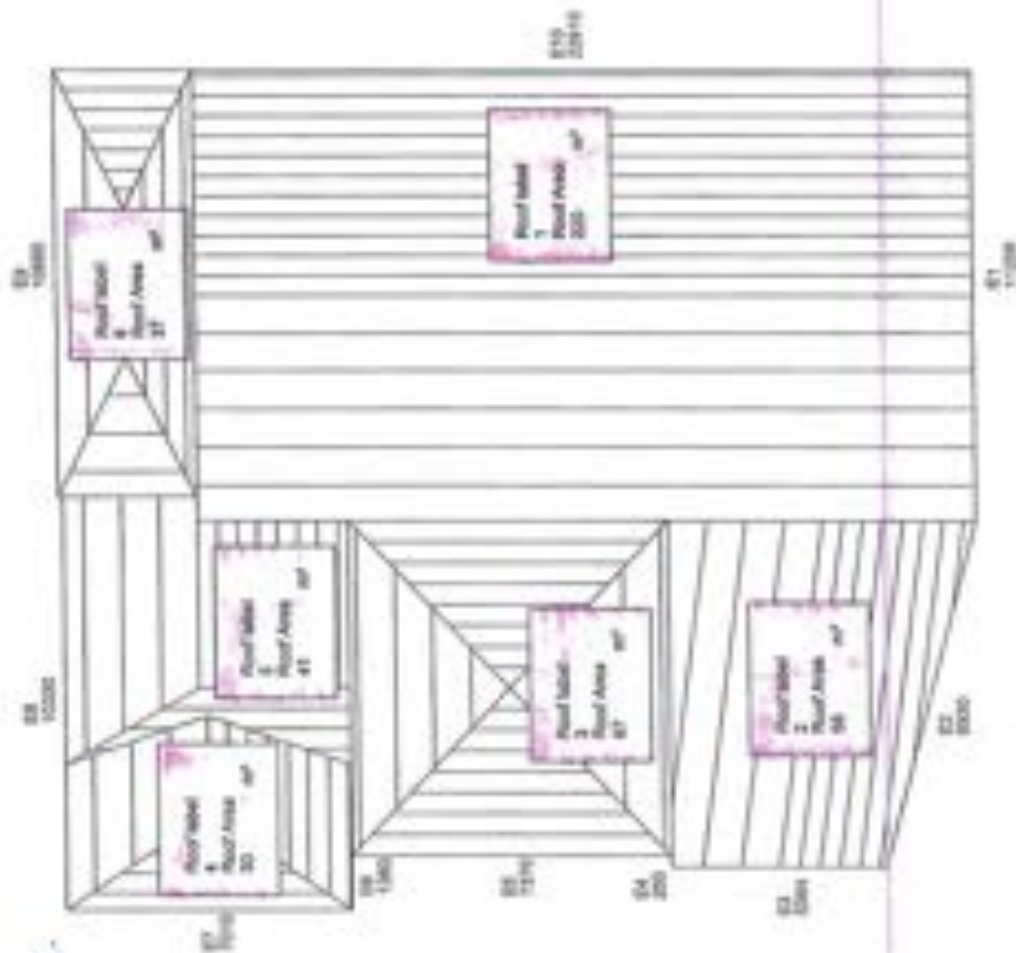
PROJECT NO. 2024/001  
PROJECT NAME  
CLIENT  
DATE

NAME MILLPORT TOWN HALL  
ADDRESS CLIFTON STREET  
MILLPORT, KA28 8AZ  
NO. First Floor Plan  
Sheet 2024

Date	2024/001
By	2024/001
Checked	2024/001
Scale	1:100
Project No.	2024/001
Sheet No.	2024/001
Revision	2024/001
Date	2024/001

NOTE

Follow for CURRENT SPAN  
MEASUREMENTS TO LAST YEAR TOLERANCE.



NO.	DESCRIPTION	DATE
1	REVISION	12/17/14
2	REVISION	12/17/14
3	REVISION	12/17/14
4	REVISION	12/17/14
5	REVISION	12/17/14



PROJECT NO. 14-001  
PROJECT NAME: MILLPORT TOWN HALL  
PROJECT LOCATION: MILLPORT, WEST VIRGINIA

CLIENT: MILLPORT TOWN HALL  
ARCHITECT: CLIFTON STREET ARCHITECTS  
100 MILLPORT, WEST VIRGINIA

NO.	DESCRIPTION	DATE
1	REVISION	12/17/14
2	REVISION	12/17/14
3	REVISION	12/17/14
4	REVISION	12/17/14
5	REVISION	12/17/14

DATE: 12/17/14  
DRAWN BY: J. W. WILSON  
CHECKED BY: J. W. WILSON  
SCALE: AS SHOWN  
PROJECT NO. 14-001  
SHEET NO. 1 OF 1